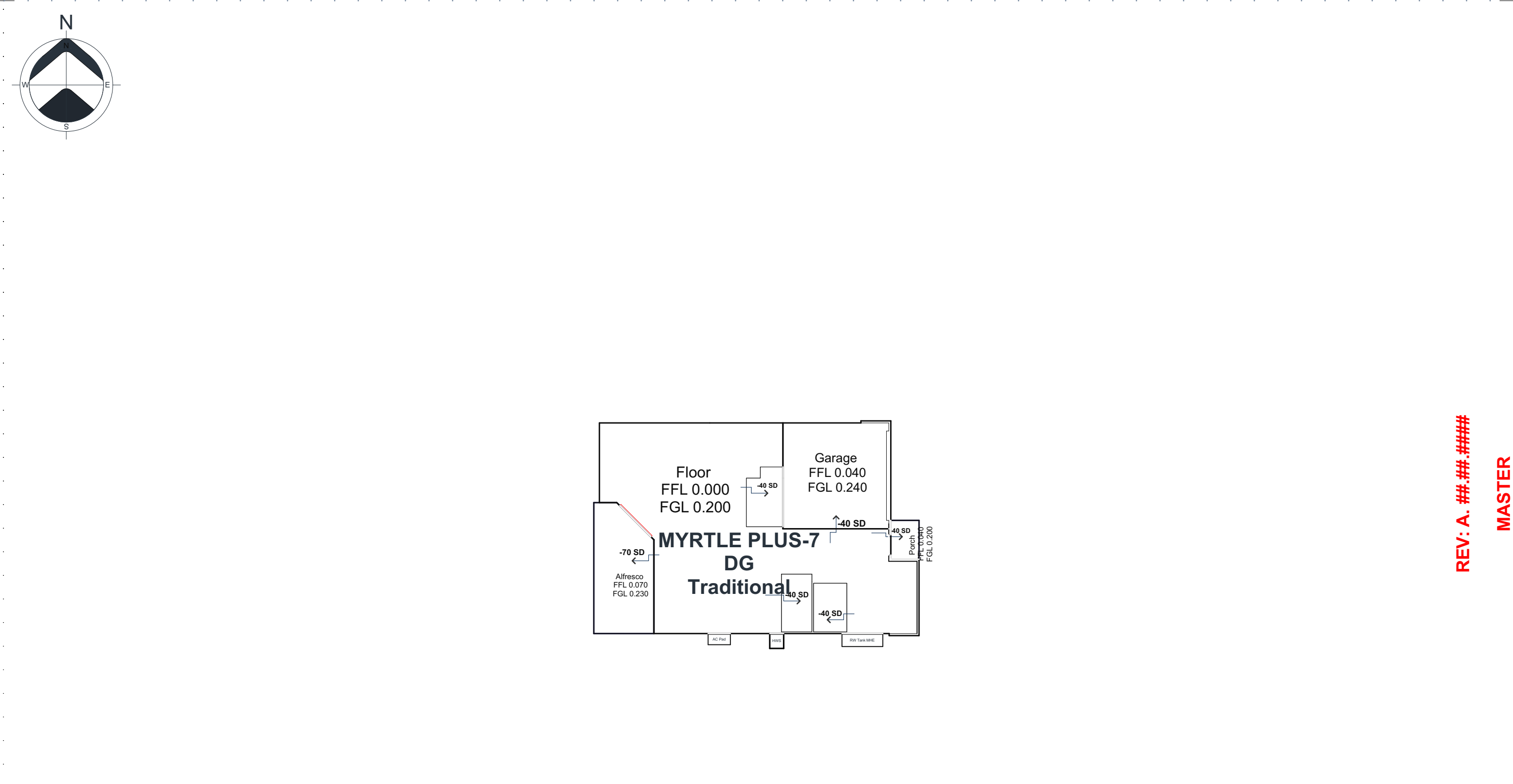


Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

REV: A. ##.##.####



**MASTER**

\*Weather strips/seals to all external  
hung doors

**A/C** Air Con Fan Unit



Return Air



Man Hole

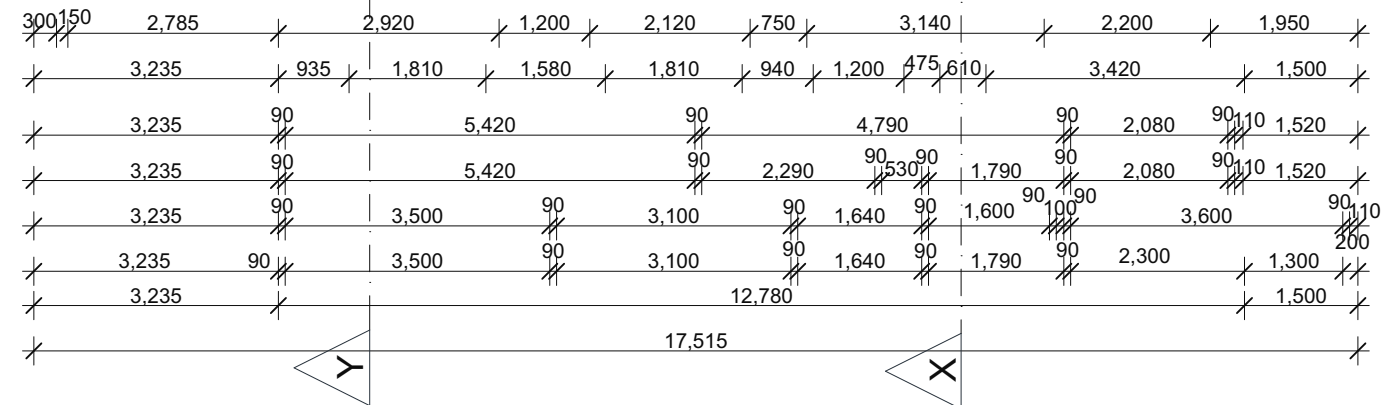
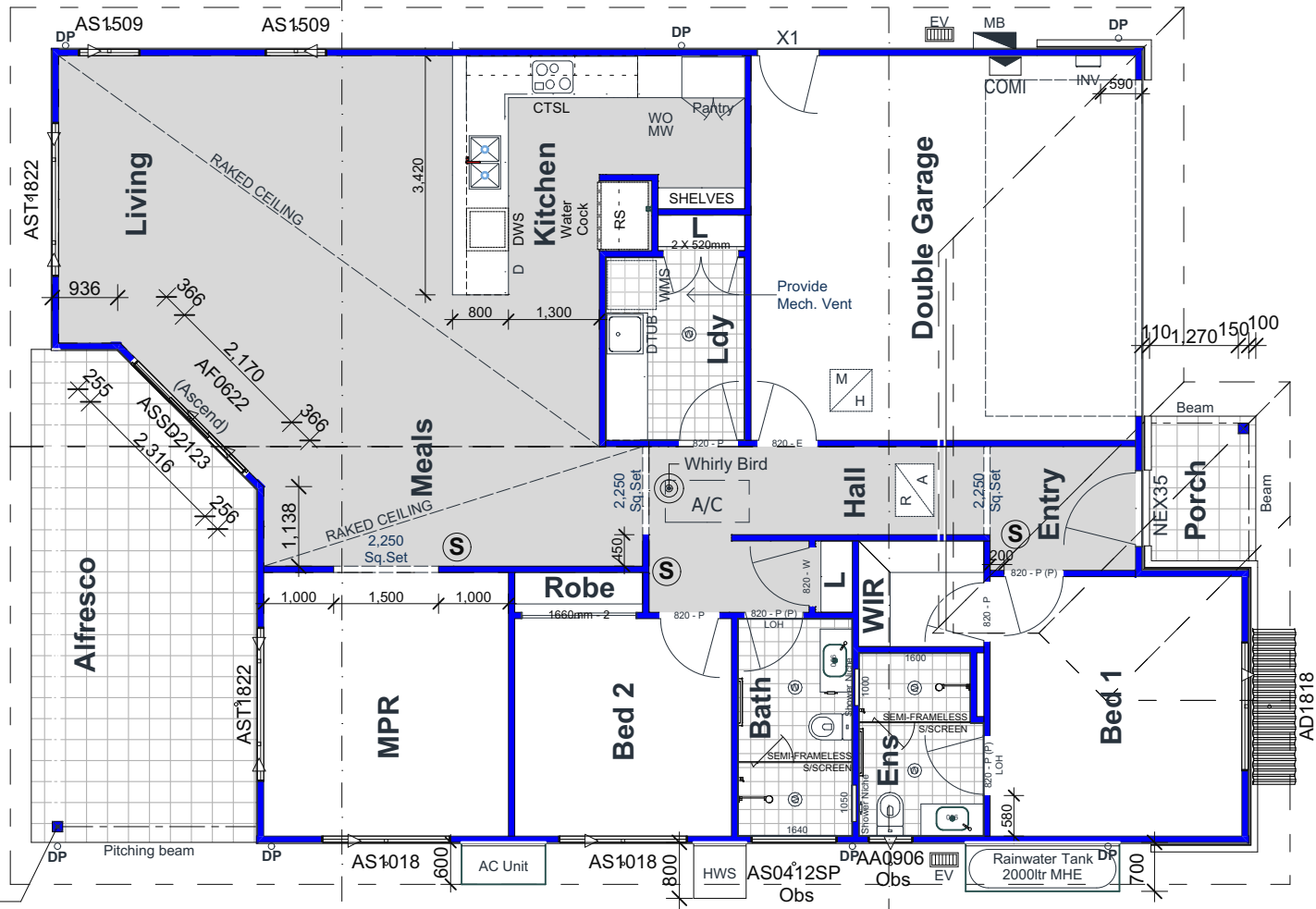
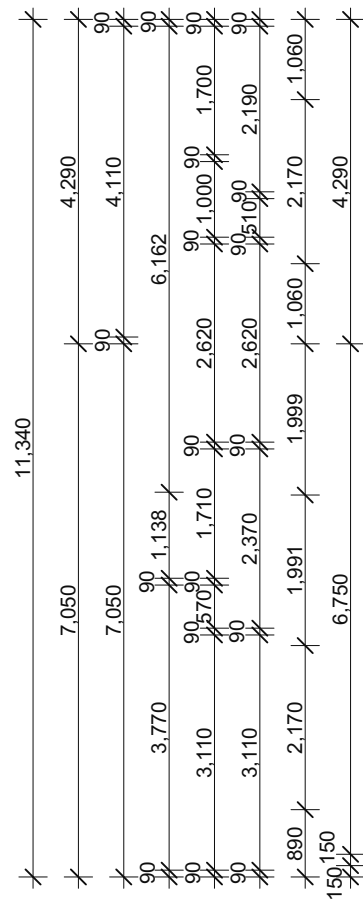


### Whirly Bird (300mm Throat Dia)

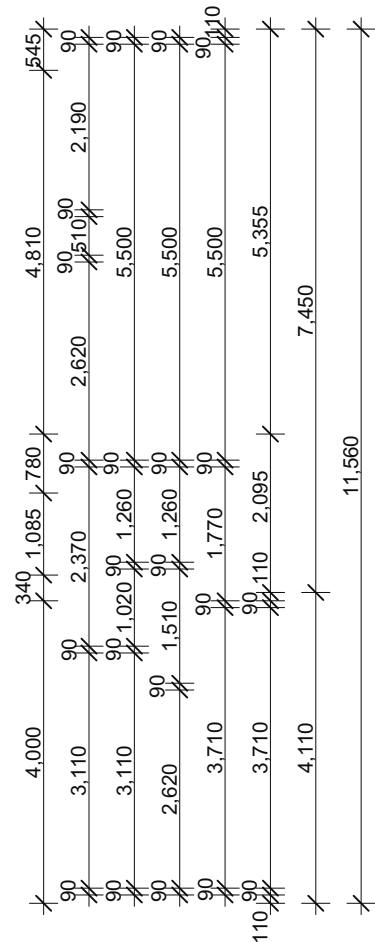


Eave Vent (400x200mm)

E = Entrance  
P = Passage  
(P) = Privacy  
W = Wardrobe  
LOH = Lift Off Hinge



**SHADED AREA DENOTES  
VINYL FLOORING UNLESS  
OTHERWISE SPECIFIED ON  
THE JOB SPECIFIC COLOUR  
SELECTION SHEET**



REV: A. ##.##.####

# MASTER

FLOOR AREAS	
ALFRESCO	20.81
GARAGE	33.29
GROUND	132.43
PORCH	3.18
	<b>189.71 m²</b>

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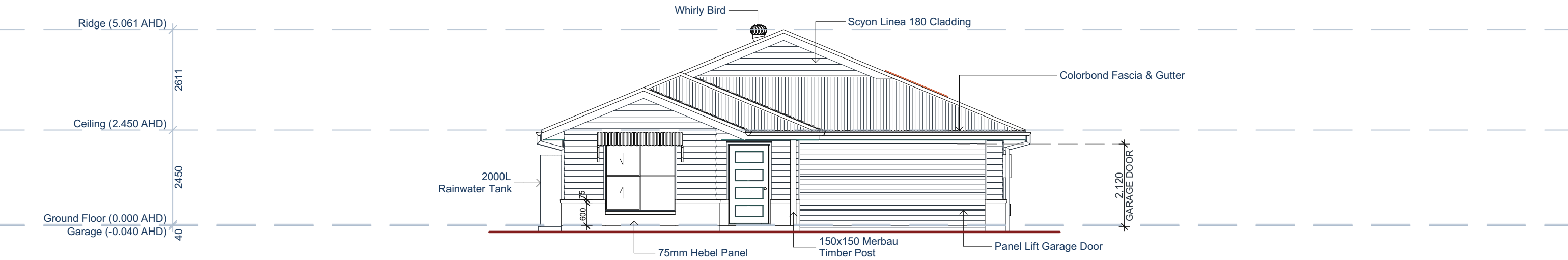
**Allam Lifestyle Communities**  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
ACN 003 798 883 BLN 28701.C  
Ph 02 47322422 Fx 02 47211811  
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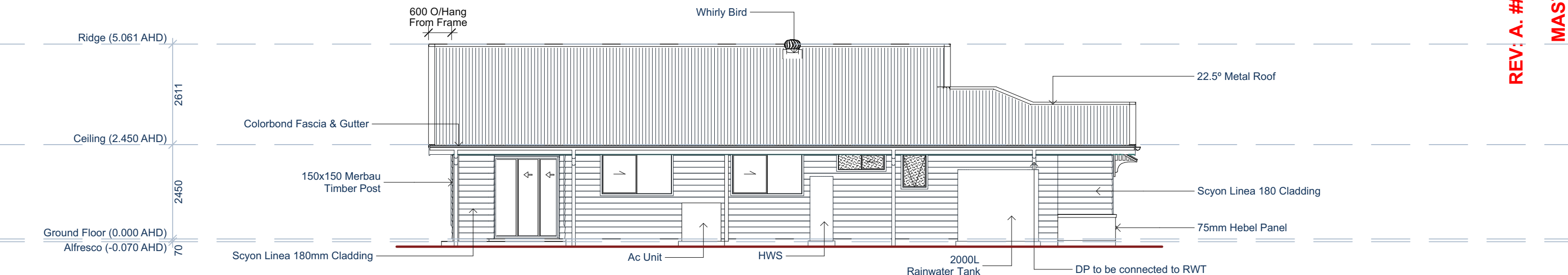
**MYRTLE PLUS-7 DG**  
*Traditional*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS	<b>Ground Floor</b>				Last Amended CAE	Scale 1:100
GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
HOUSE:	0	01.07.20	A. ##.##.####. V22	1MY7101000	<b>Job no.</b>	01.3



East Elevation (A)



South Elevation (B)

**General Notes:**  
\* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.  
\* All verges 200mm unless otherwise noted  
\* Provide cover strip to entry doors  
\* Provide cover strip to entry doors  
\* Refer to floor plans/window schedule for Restricted opening windows (BCA)  
Indicates Obscure Glazing  
(Refer floor plans/window schedule)

**Glazing**  
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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ALLAM

Lifestyle COMMUNITIES

M

MONTEREY

CANDER HAYEN

Allam Lifestyle Communities

Level 3, Offices 36-42

11-13 Brookhollow Ave

ACN 003 798 883 BLN 28701.C

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MYRTLE PLUS-7 DG

Traditional

Site Address

Allam Homes Pty Ltd

Lot ### Street name

Suburb (Estate) NSW

SITE INSTRUCTIONS

GENERAL:

F

01.09.20

HOUSE:

0

01.07.20

Elevation A/B

Revision/Date/Version

A. ##.##.####.V22

Serial

1MY7101000

Last Amended

CAE

Job No

Job no.

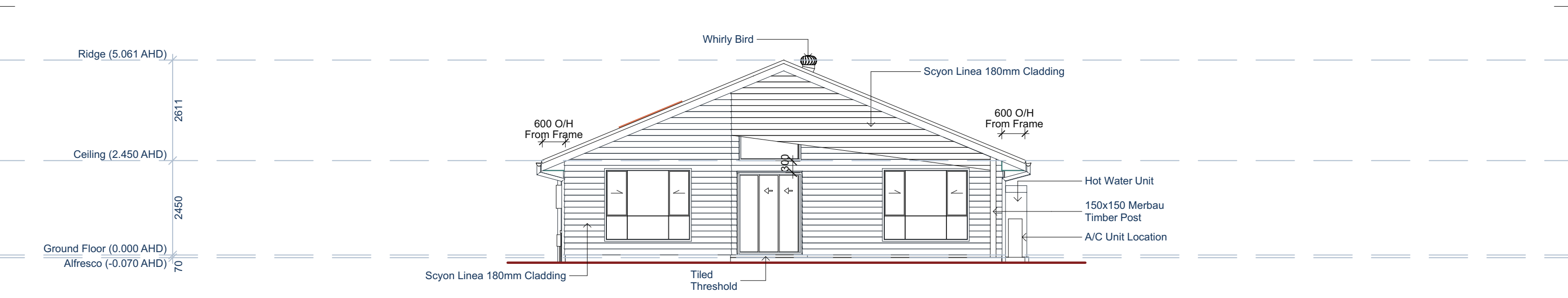
Scale

1:100

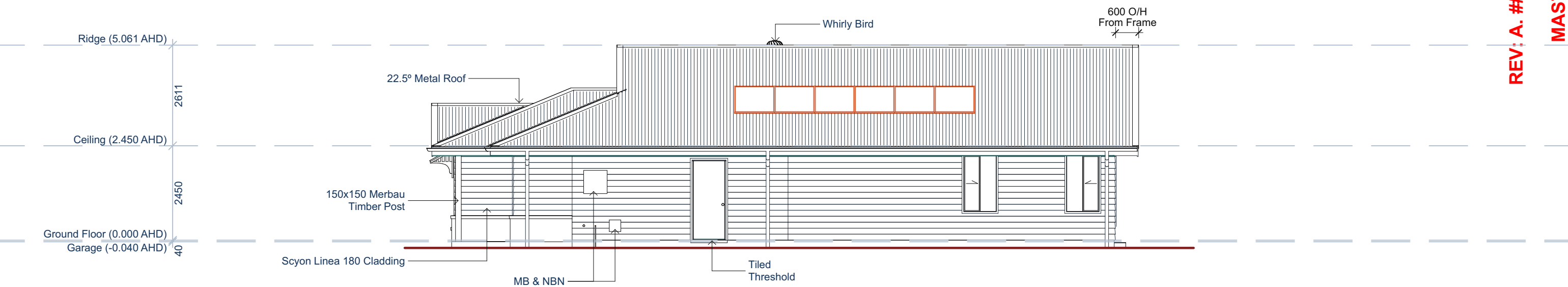
Sheet

01.4

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West Elevation (C)



North Elevation (D)

**General Notes:**

- \* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
- \* Provide cover strip to entry doors
- \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing  
(Refer floor plans/window schedule)

**Glazing**

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

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MYRTLE PLUS-7 DG

Traditional

Site Address

Allam Homes Pty Ltd

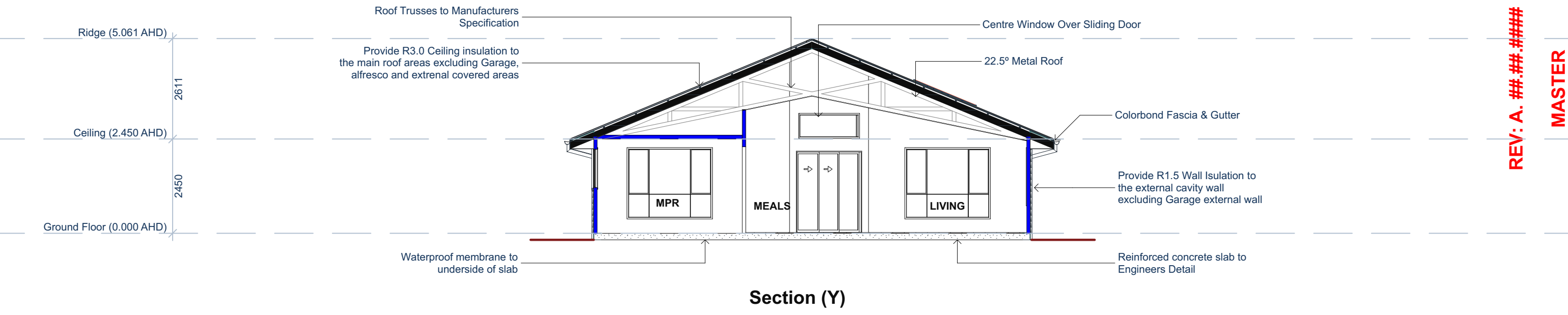
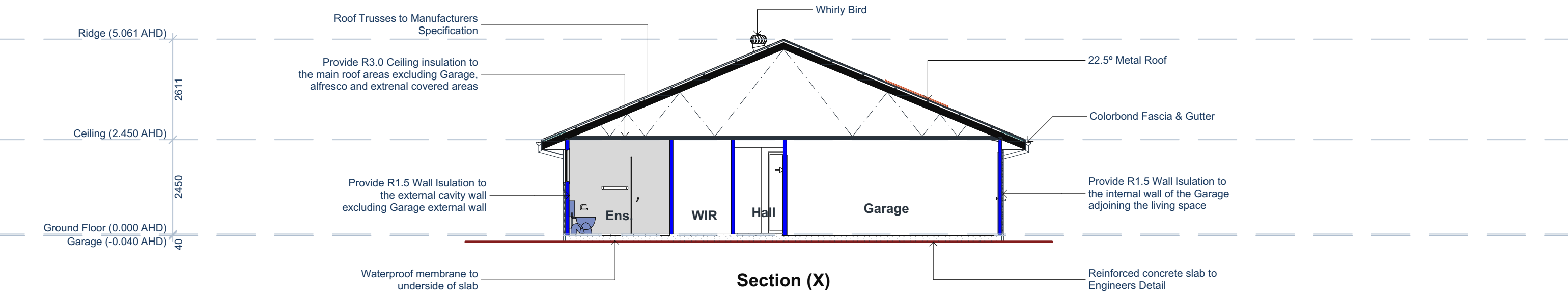
Lot ### Street name

Suburb (Estate) NSW

SITE INSTRUCTIONS	Elevation C/D			Last Amended	Scale
GENERAL:	F	01.09.20	Revision/Date/Version	CAE	1:100
HOUSE:	0	01.07.20	A. ##.##.####.V22	Job No	Sheet
			1MY7101000	Job no.	01.5

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**Note:**  
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



**CONDENSATION MANAGEMENT:**  
- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i).  
Australian Standard AS4200.1  
-Wall wrap to be in accordance with Clause 3.8.7.2 of NCC  
2019 & AS4200.1 & Installed in Compliance with AS4200.2

**ROOF RAINWATER:**  
- Provide overflow measures for gutters and downpipes:  
Compliant with NCC Clause 3.5.3

**STAIRS, RAMP & LANDINGS:**  
- Internal & External: Bounded by walls:  
Compliant with NCC Clause 3.9.1  
- Internal & External: Finish of nosings/slip resistance:  
Compliant with NCC Clause 3.9.1.4

**BALLUSTRADES:**  
- Internal/External: All installations:  
Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

**ELECTRICAL:**  
- Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.73	1.373	2.880	0.687	1.440
Bed 2	8.739	0.874	2.160	0.437	1.080
Meal/Kitchen	27.55	2.755	10.32	1.376	2.064
Living	12.35	1.235	5.580	0.6173	2.790
Family	12.35	1.235	5.580	0.6173	2.790
MPR	12.440	1.934	5.471	0.622	1.521





# MASTER



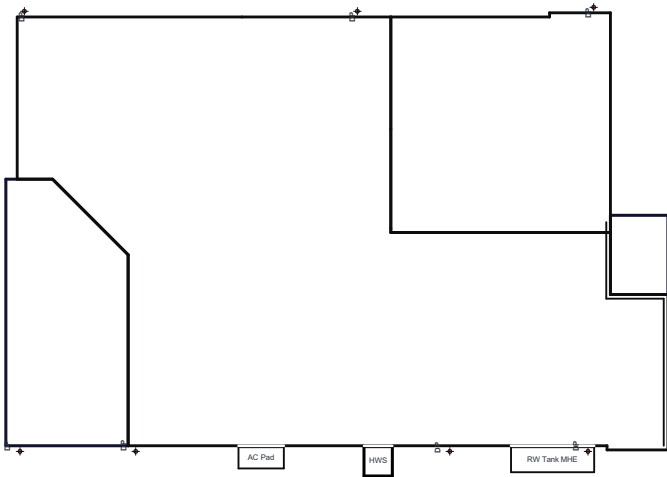
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REV: A. ##.##.####

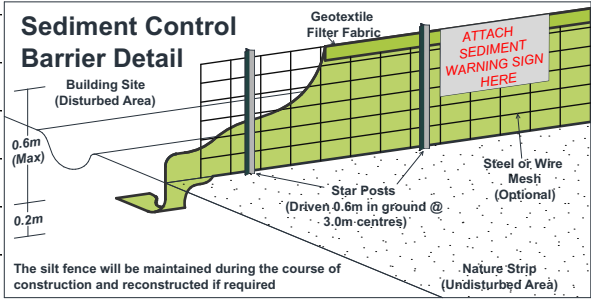
MASTER

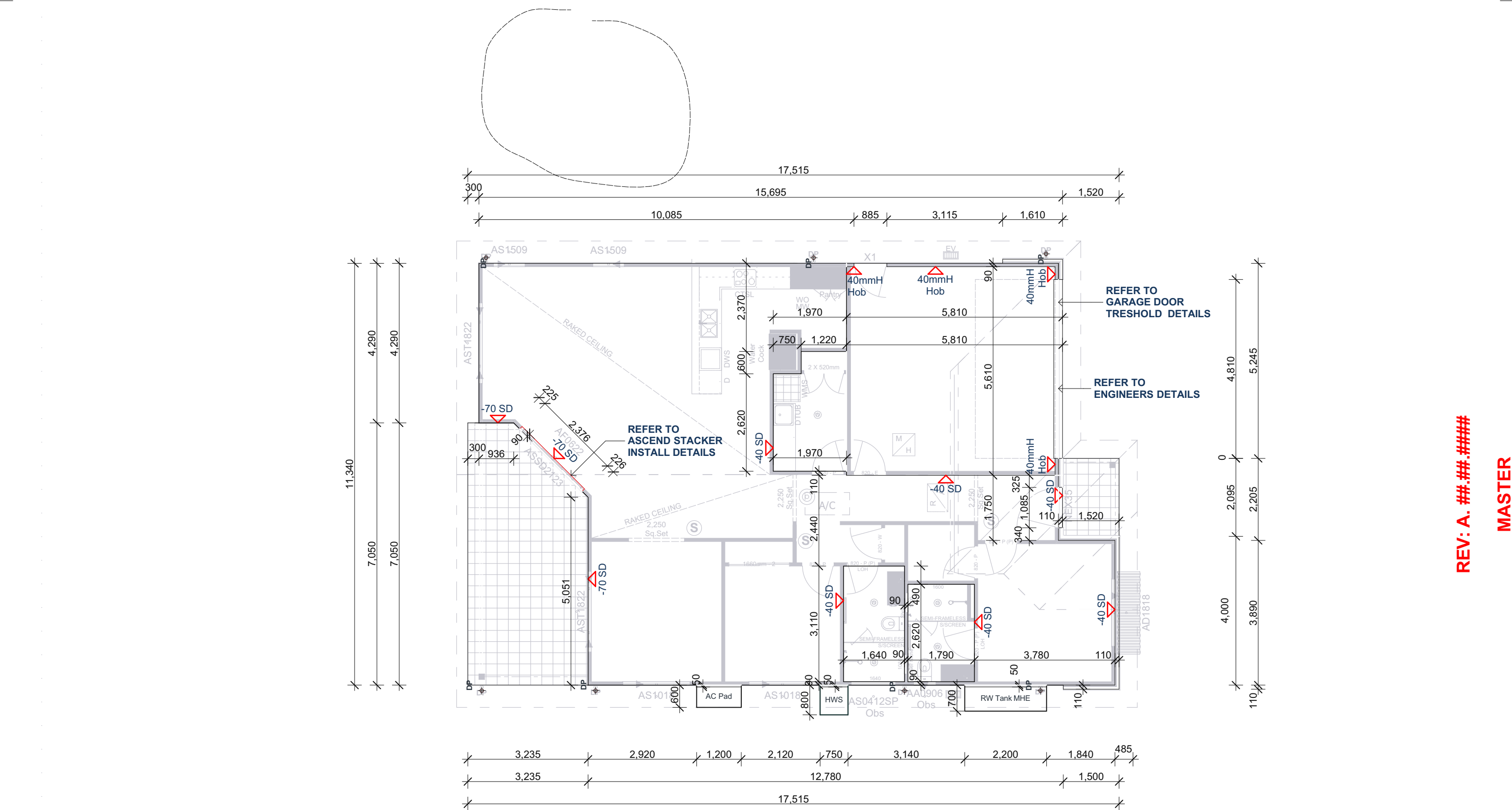




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MASTER



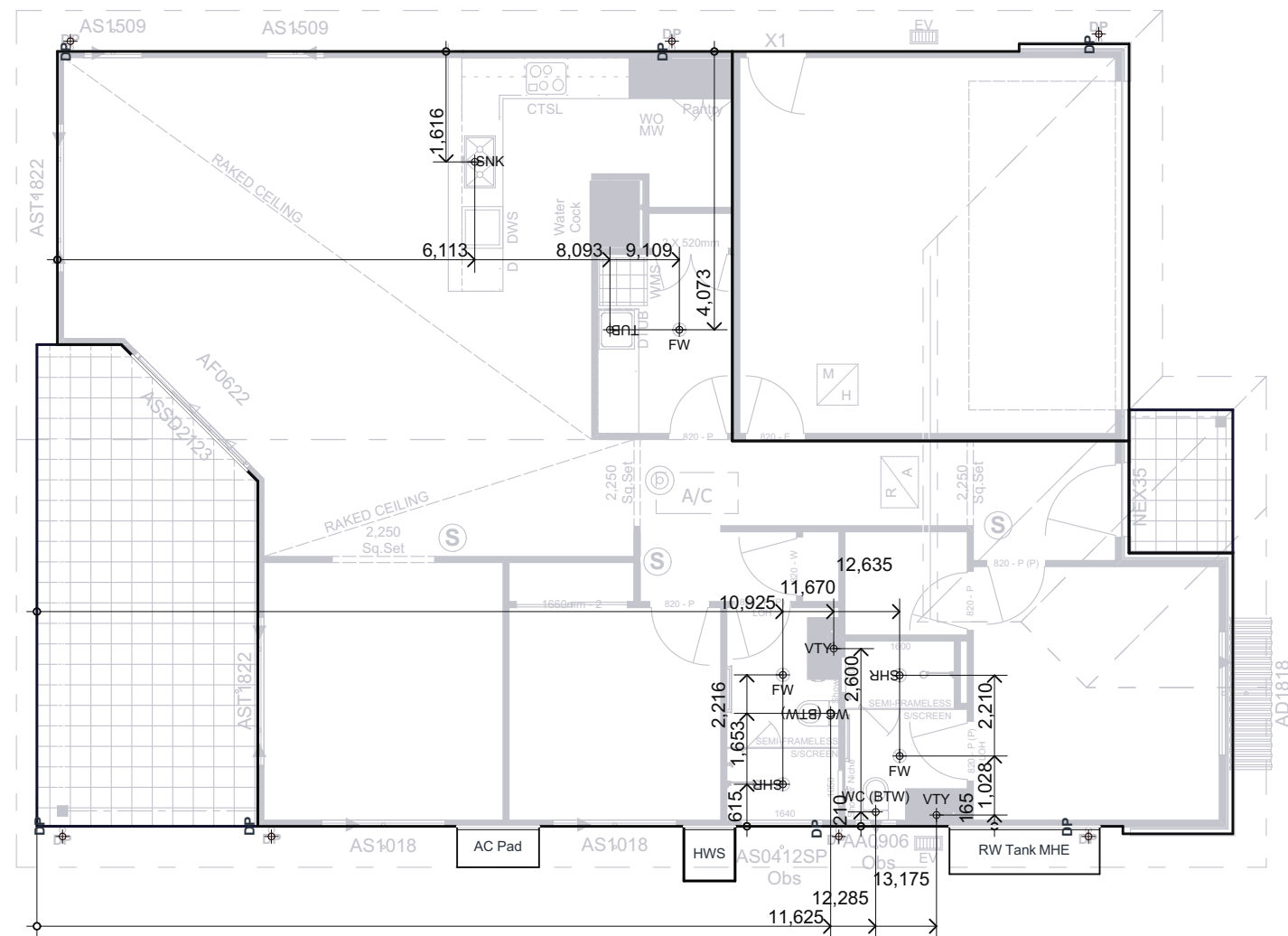


**Termite shields**  
Shields, barriers or the like must be provided in accordance with AS 3660.1-2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

**NOTE: All Measurements Are Taken From External Edge Of Slab**

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 <b>Lifestyle COMMUNITIES</b>	 <b>MONTEREY</b> <small>CANDELA HAVEN</small>	Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	<b>MYRTLE PLUS-7 DG</b> <i>Traditional</i>	Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW	SITE INSTRUCTIONS		<b>Slab Setout Ground</b>		Last Amended	Scale	
						GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
						HOUSE:	0	01.07.20	A. ##.##.####.V22	1MY7101000	<b>Job no.</b>	01.11

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NOTE: GROUND FLOOR  
RUNNING DIMENSIONS FROM  
INSIDE OF EDGE BOARD TO C<sub>L</sub> OF  
PENETRATION

NOTE: FIRST FLOOR  
RUNNING DIMENSIONS FROM EXTERNAL  
TIMBER FRAME/BRICKWORK TO  $\phi$  OF  
PENETRATION

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**MYRTLE PLUS-7 DG**  
*Traditional*


Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW


SITE INSTRUCTIONS		<b>Sub Floor Ground</b>			Last Amended CAE		Scale REFER TO DETAIL	
GENERAL:	F	01.09.20	Revision/Date/Version		Serial		Job No	
HOUSE:	0	01.07.20	A. ##.##.####.V22		1MY7101000		Job no. 01.13	


- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 


Alarm Control Box
- 

Single GPO
- 

Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

Ceiling Fan
- 

Ceiling Fan (Incorporated Light)

**Actron Air Standard Unit Specification (Single Phase)**  
Model: **CRS13AS / EVA13AS**  
Net (rated) Capacity (KW) Cooling: **13.02 KW**  
Heating: **15.0 KW**  
EER Rated Cooling: **3.35 KW**  
EER Rated Heating: **3.51 KW**

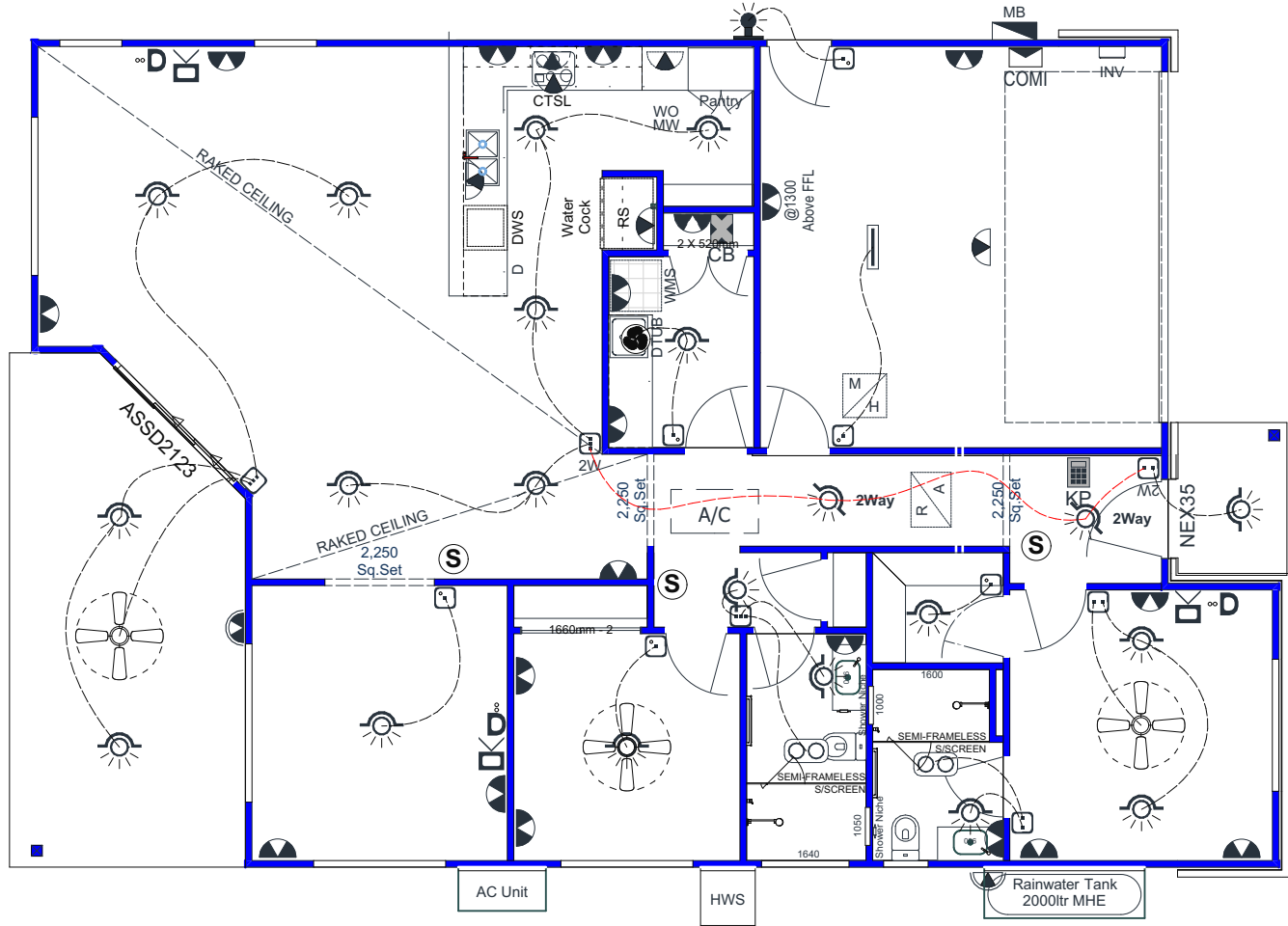
**General Notes: NCC Approval**

1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 9.5.
5. Double GPO to meter box.

**Electrical wiring**

The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

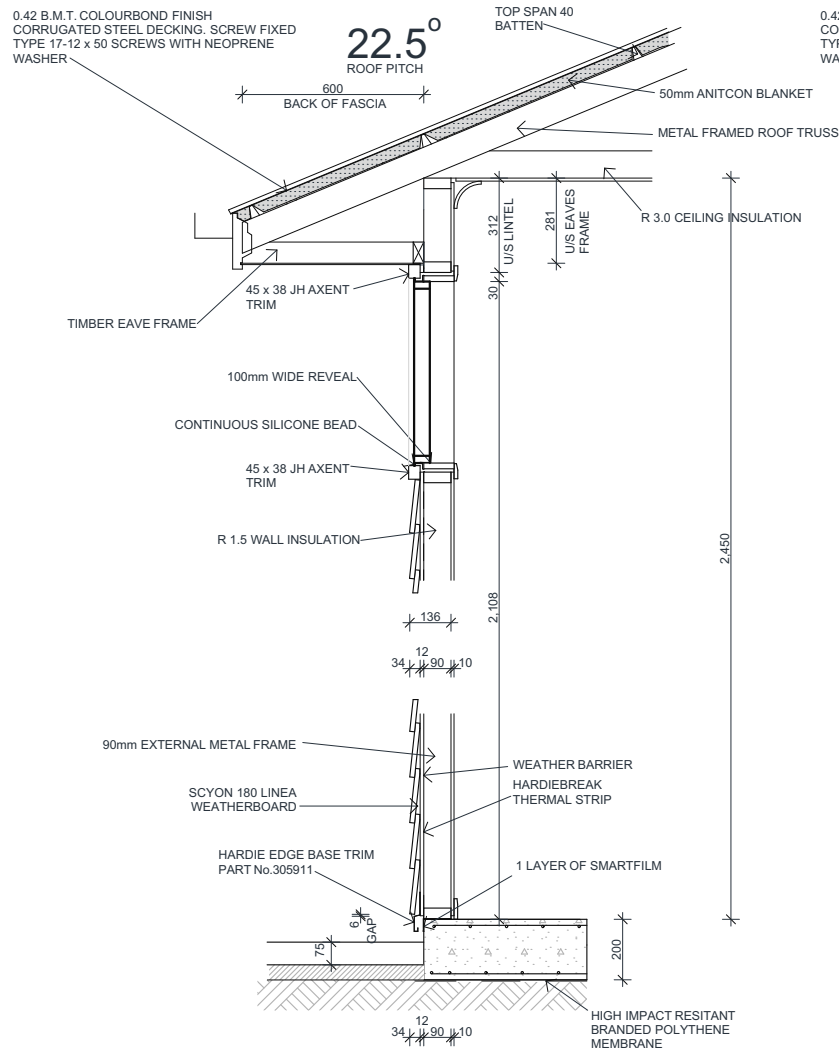
The final location of ceiling penetrations and light fittings are subject to site conditions



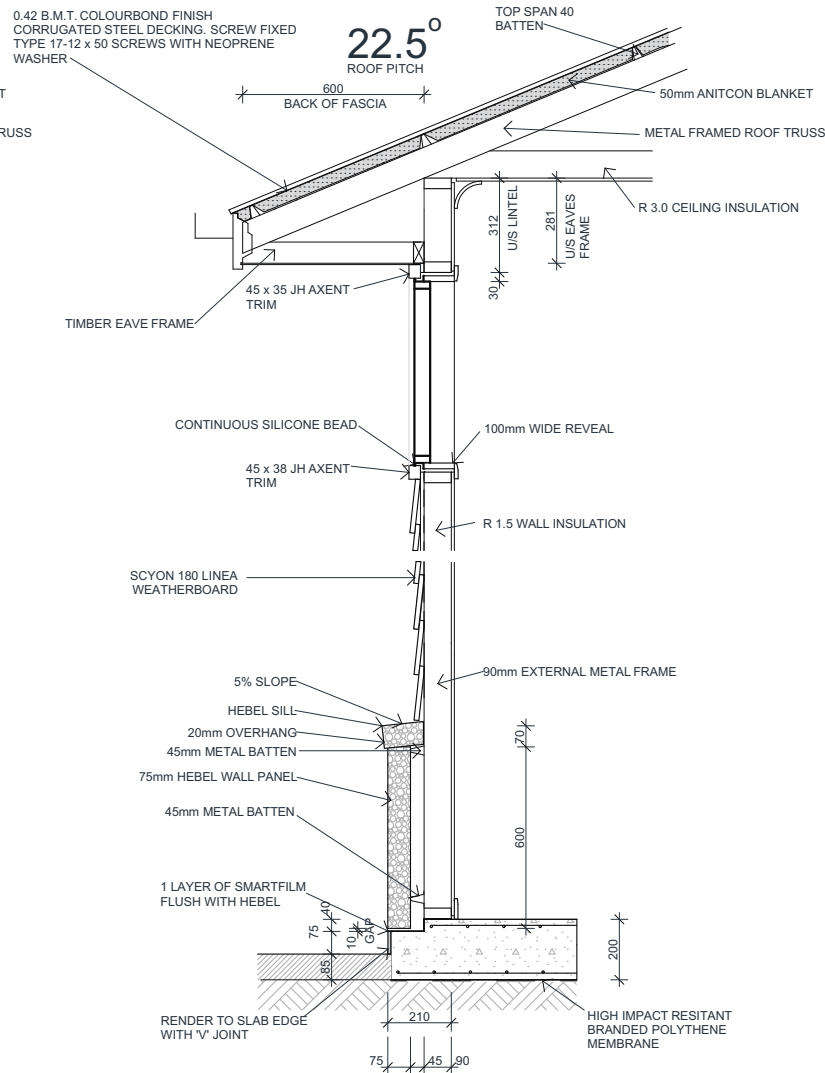
REV: A. ##.##.####  
MASTER

GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	

Note :  
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.

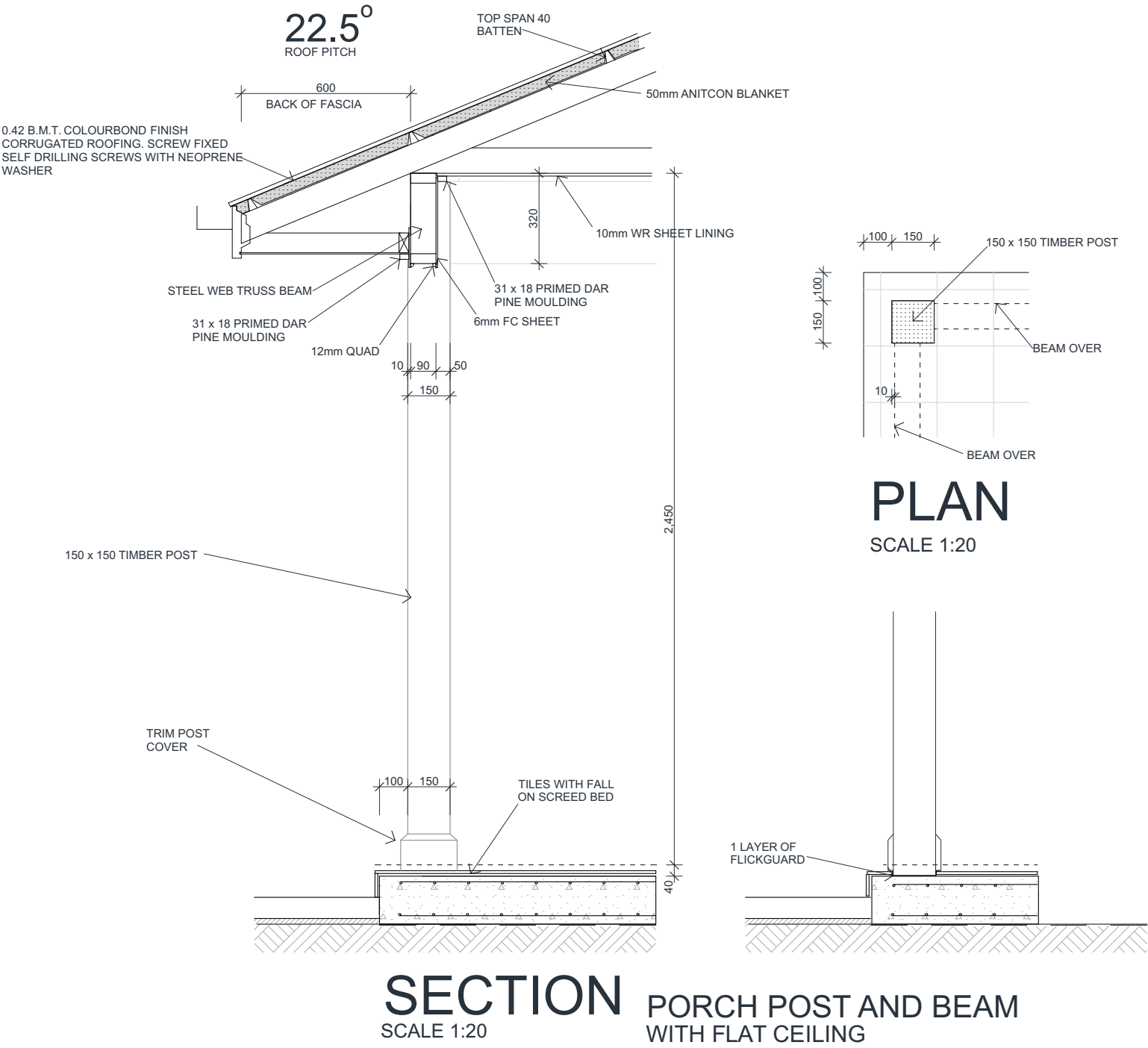


PERIMETER BEAM - HOUSE  
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL



PERIMETER BEAM - HOUSE  
TYPE C - COMPOSITE HEBEL (75mm) & SCYLON  
LINEA 180 (16mm) WALL

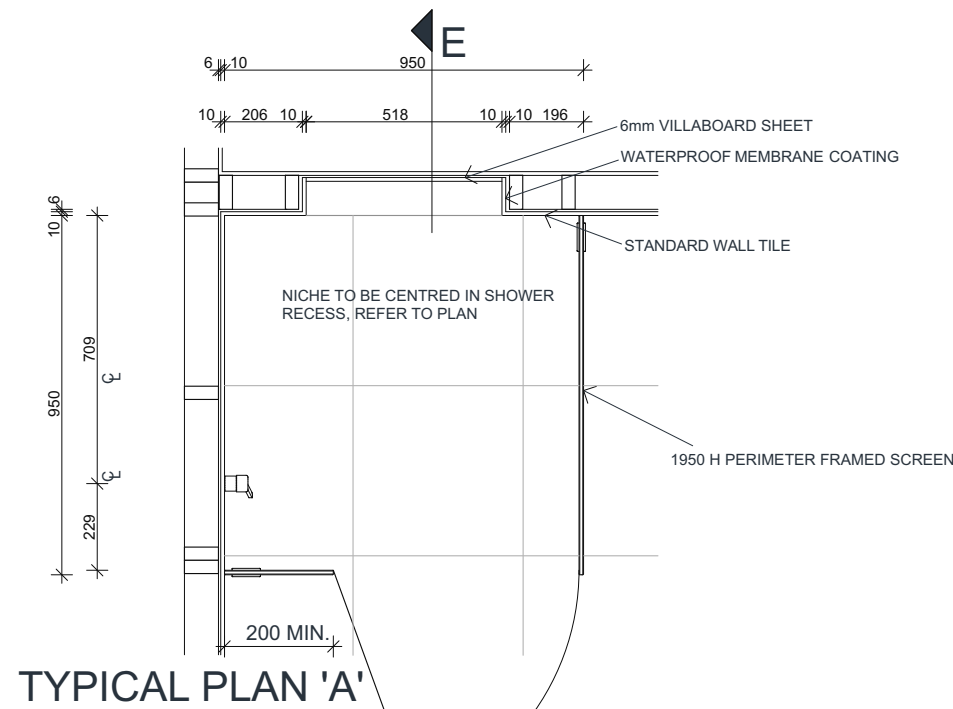
REV: A. ##.##.####  
MASTER



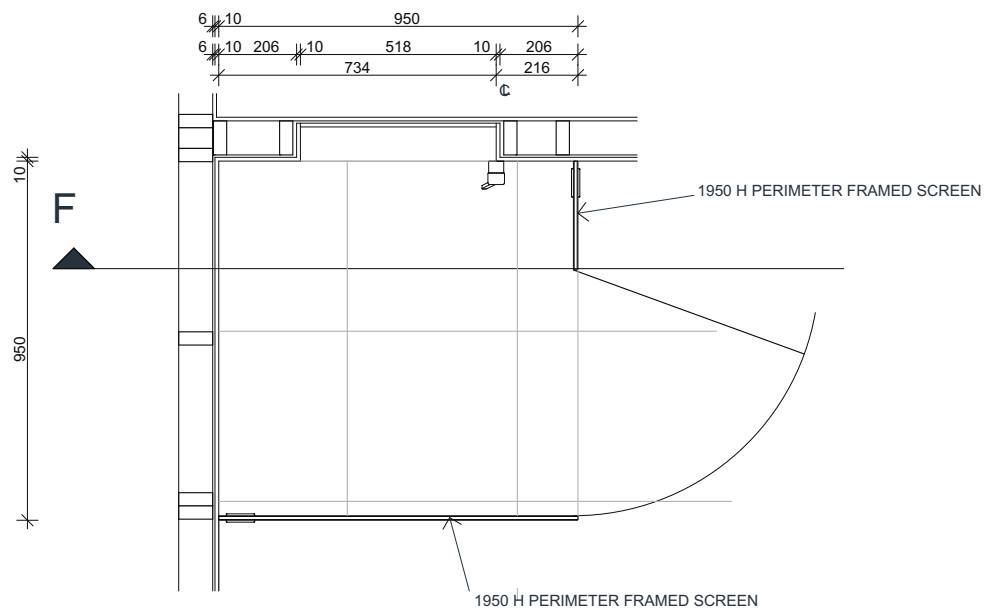
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MASTER





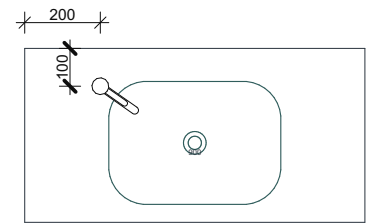


TYPICAL PLAN 'A'

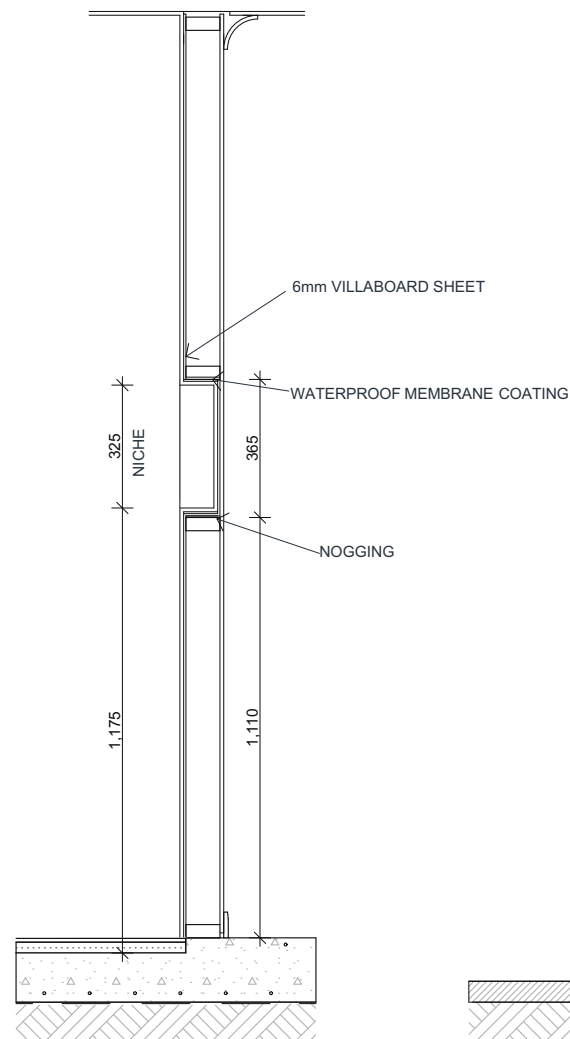


TYPICAL PLAN 'B'

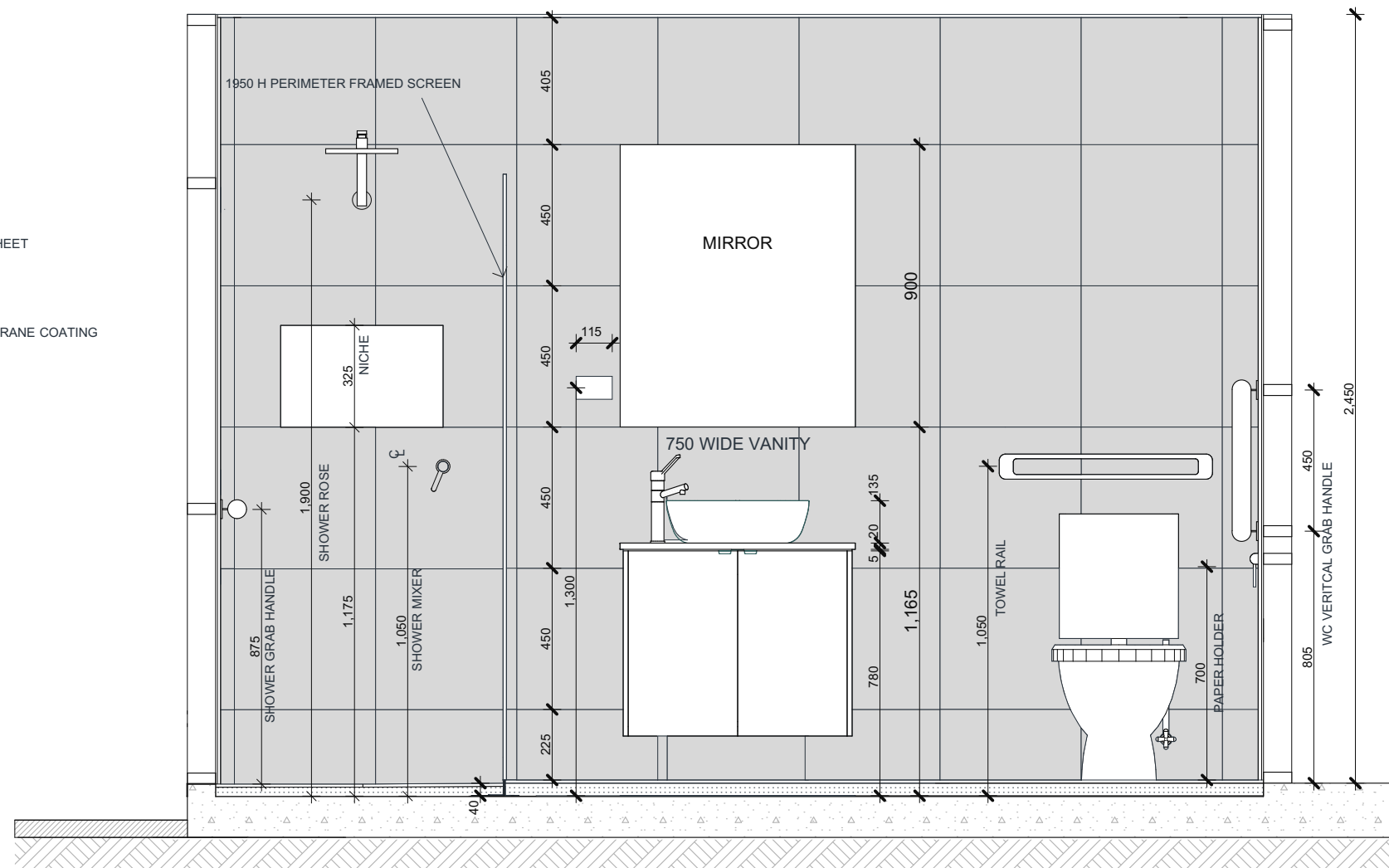
NICHE UNDER SHOWER ROSE



VANITY TOP



SECTION 'E'



SECTION 'F'

NICHE UNDER SHOWER ROSE

450 x 450 WALL TILE

REV: A. ##.##.####

MASTER

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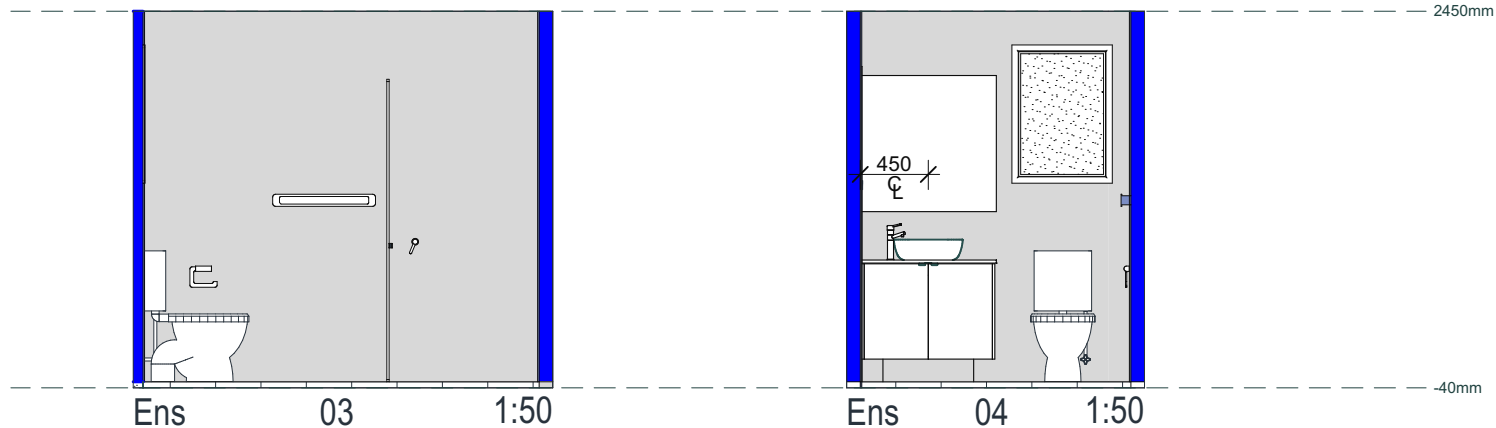
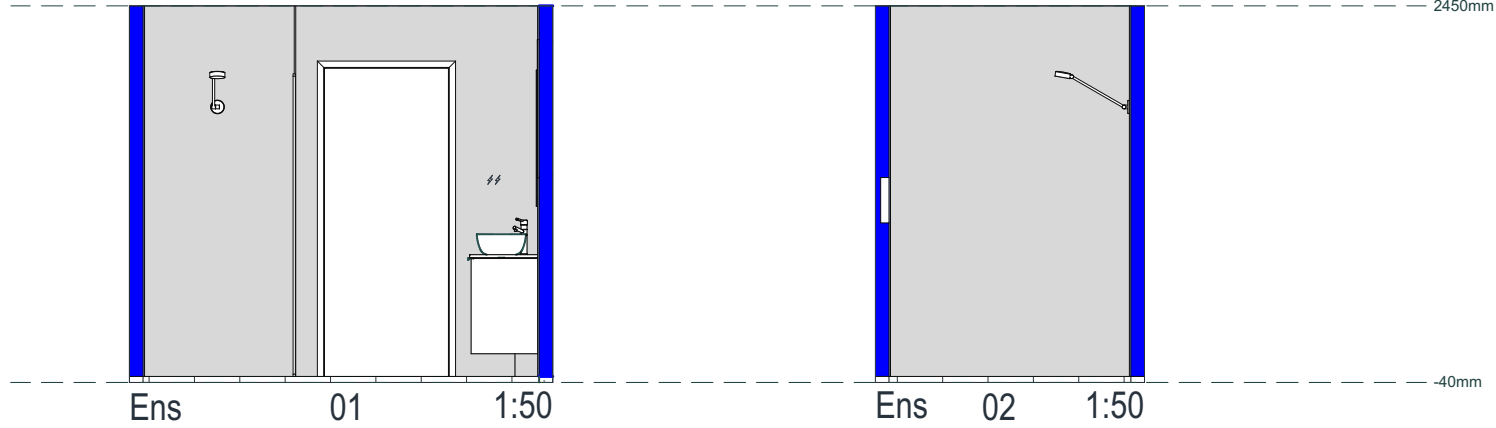
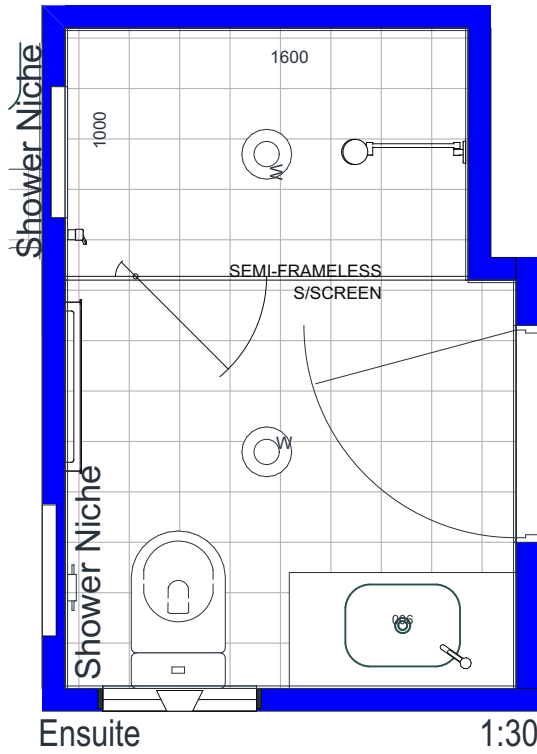
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MYRTLE PLUS-7 DG  
Traditional

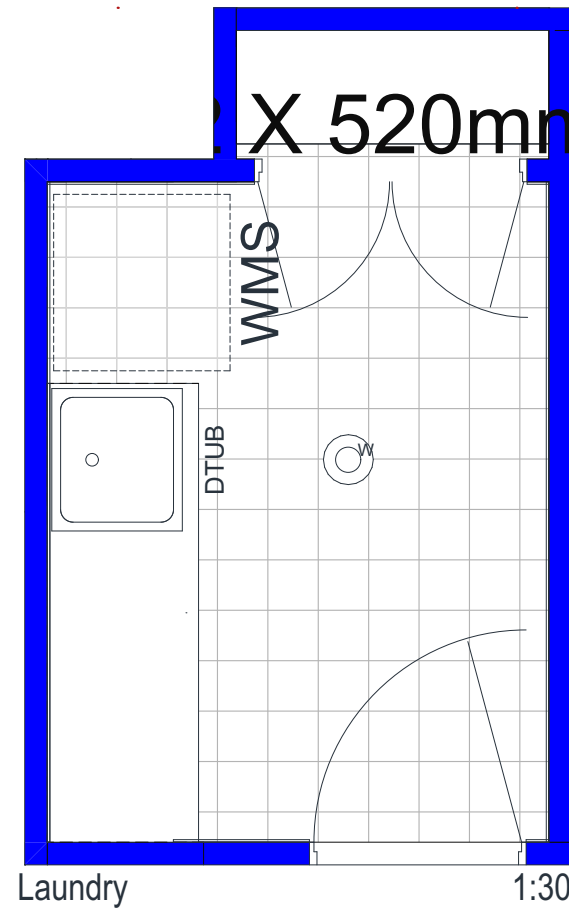
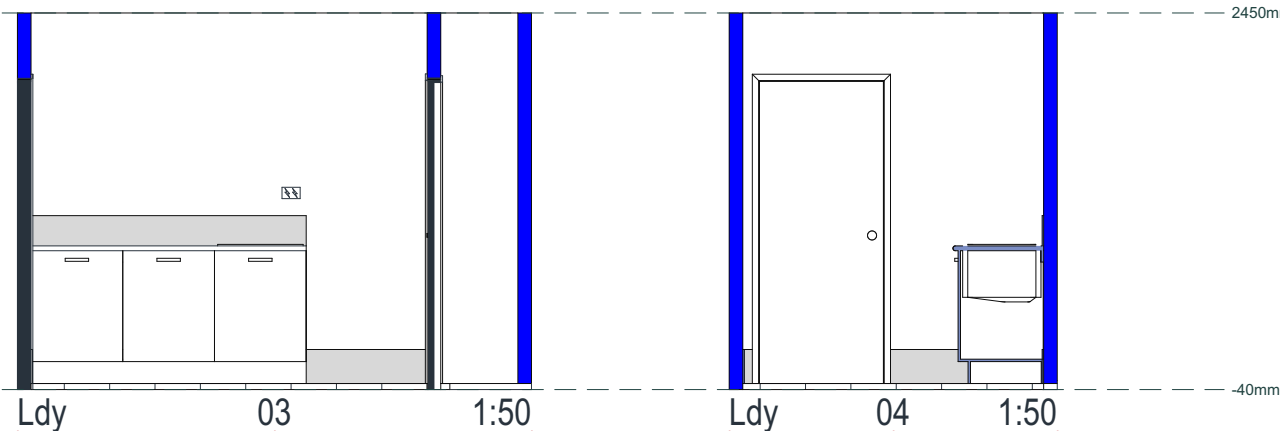
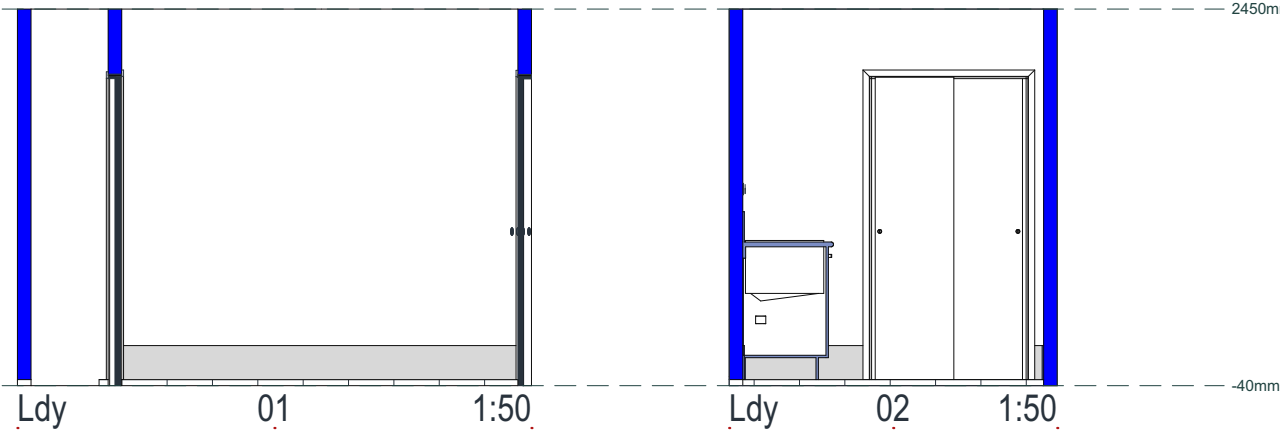
Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS		Tile Specification		Last Amended	Scale
GENERAL:	F	01.09.20	Revision/Date/Version	CAE	REFER TO DETAIL
HOUSE:	0	01.07.20	A. ##.##.####.V22	Job No	Sheet
		1MY7101000		Job no.	01.19

ENSUITE



LAUNDRY

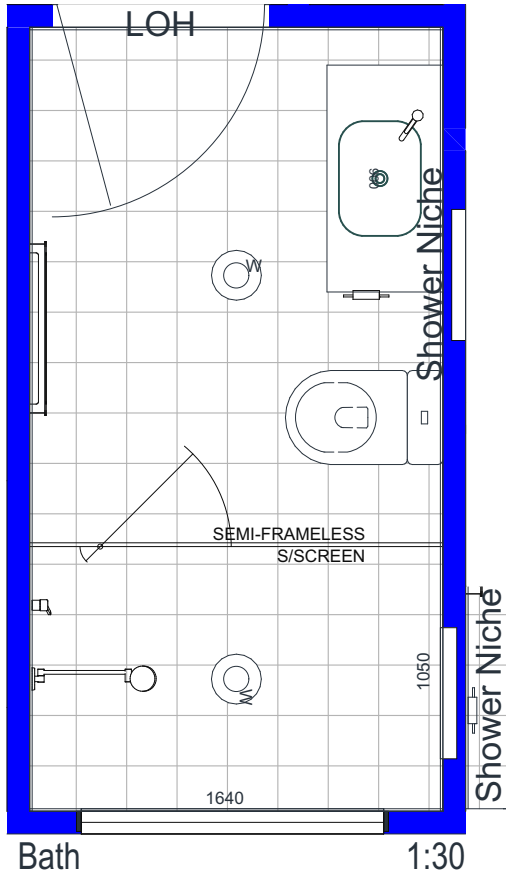
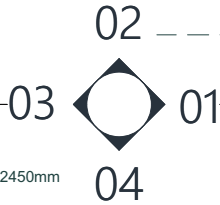
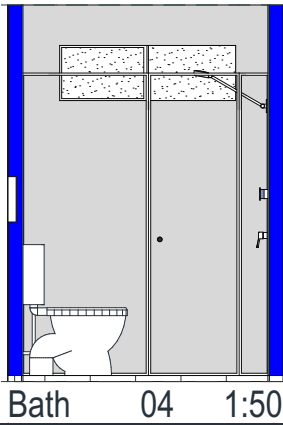
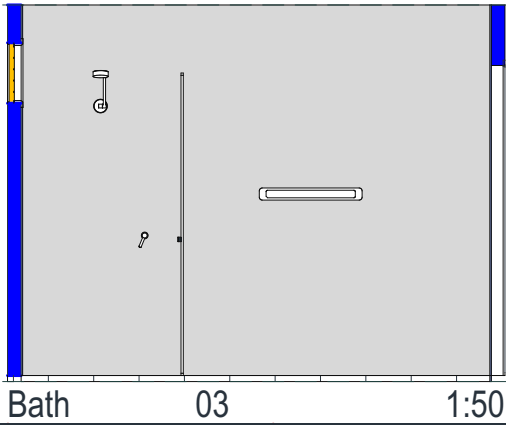
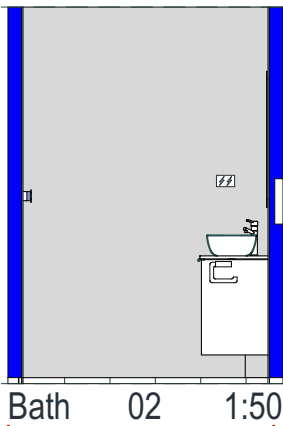
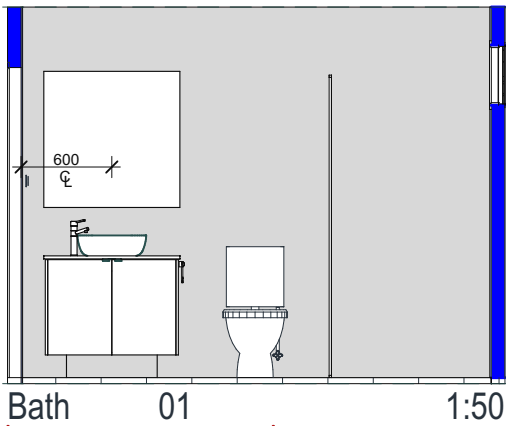


Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

**Note:**  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.

REV: A. ##.##.####  
MASTER

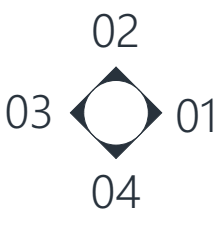
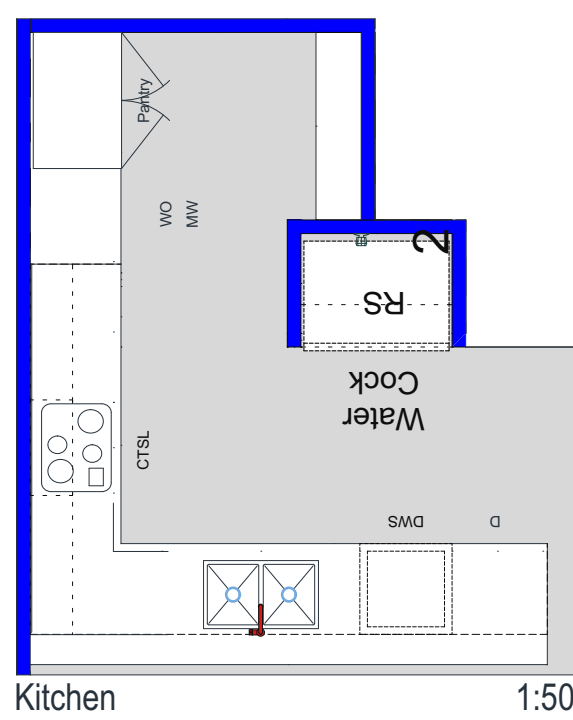
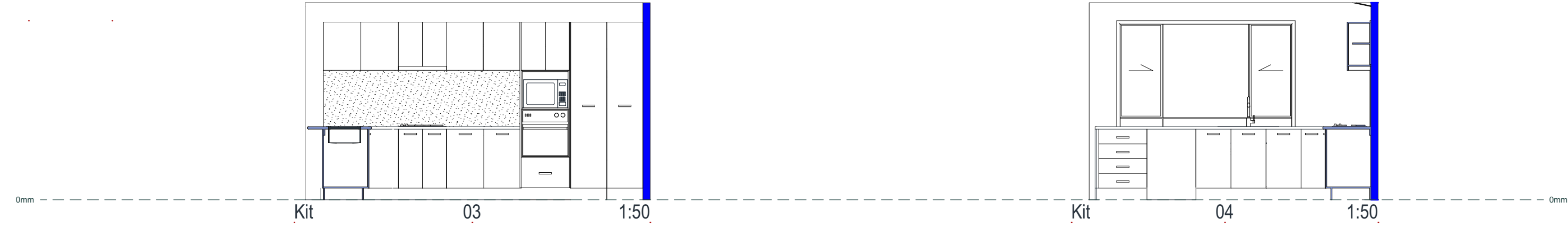
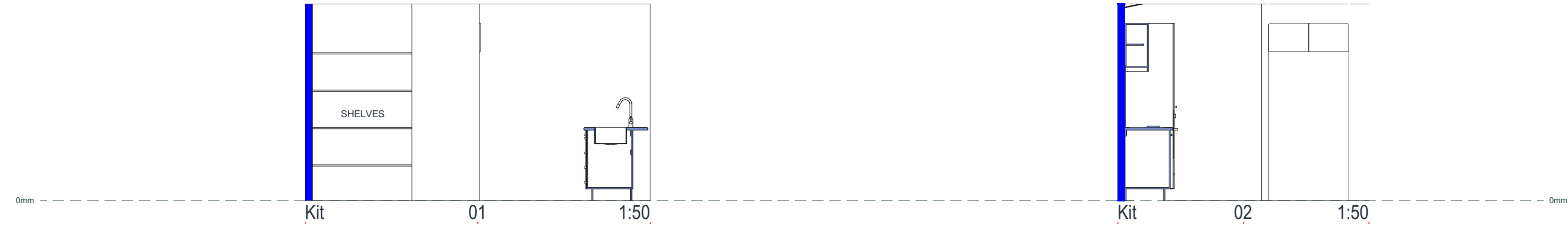
BATHROOM



Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

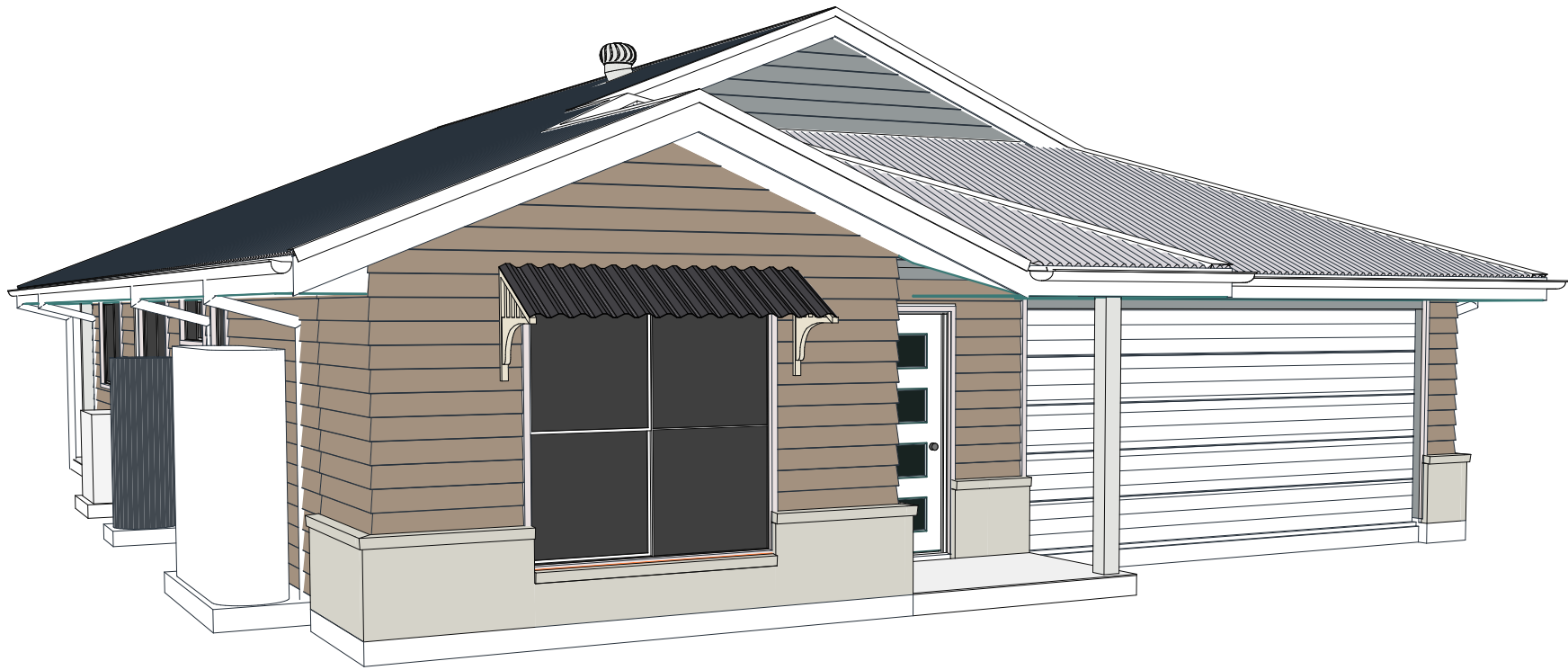
**Note:**  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.

REV: A. ##.##.####  
MASTER



REV: A. ##.##.####  
MASTER

Note:  
Refer to kitchen manufacturers details.



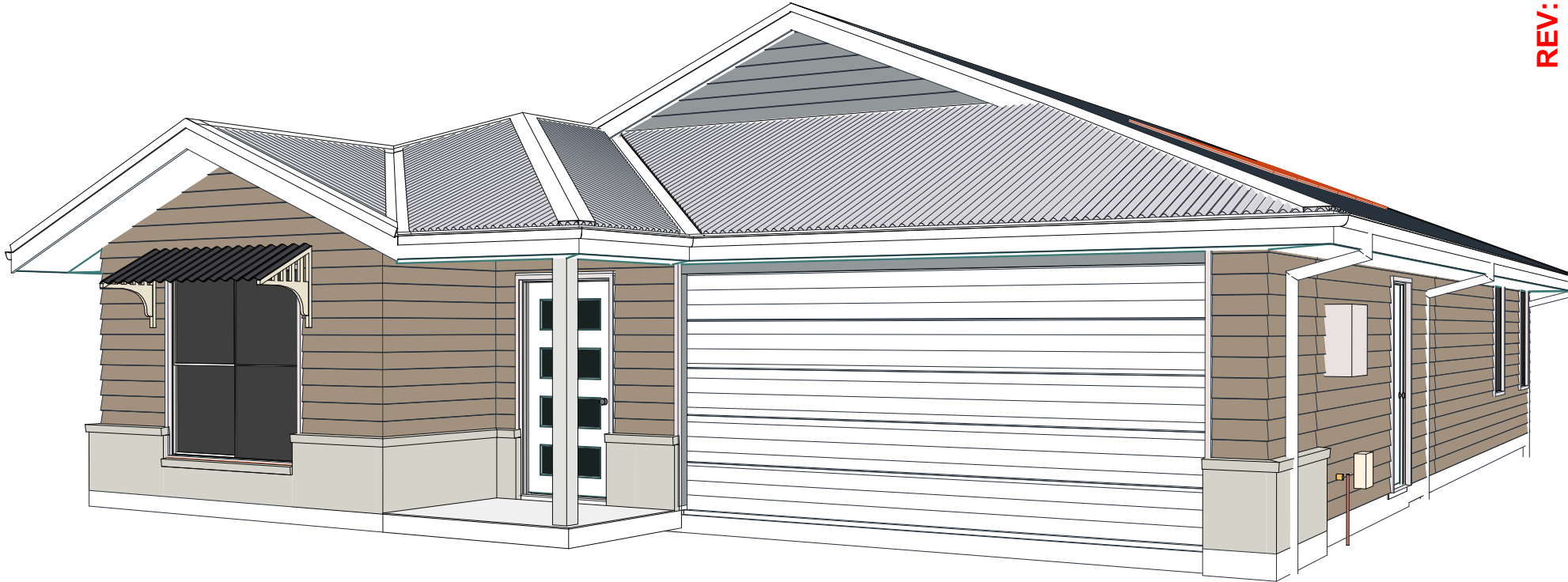
Finishes Legend

External Scheme - A##

Cladding:

Hebel:

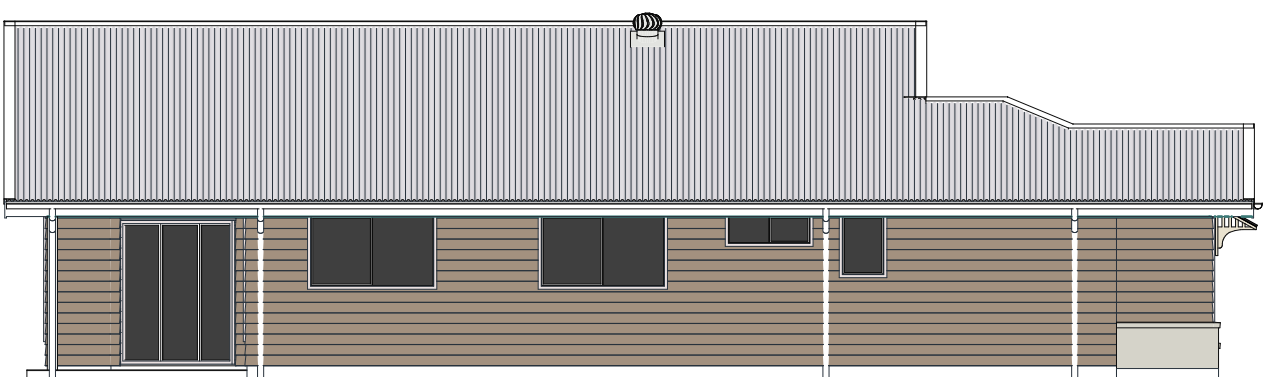
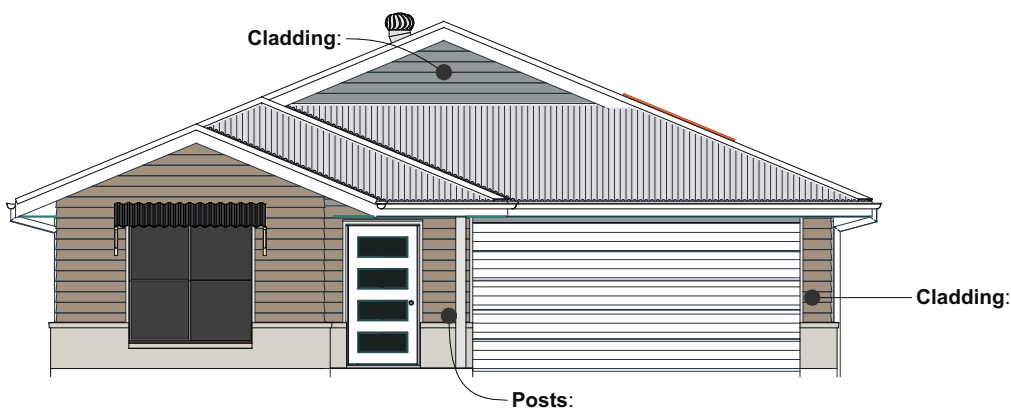
Posts :



REV: A. ##.##.####

MASTER

WARNING  
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR



Finishes Legend

External Scheme - A##

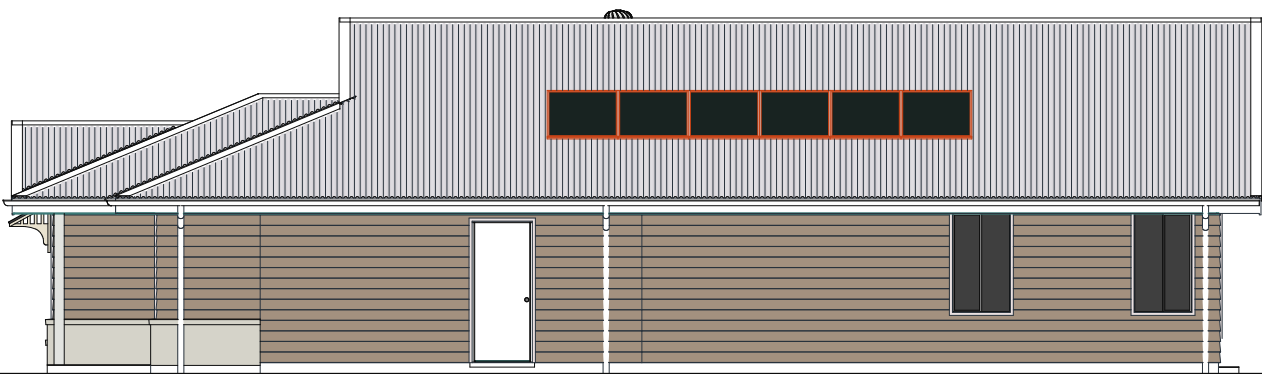
Cladding:

Hebel:

Posts :

REV: A. ##. ##. ####

MASTER

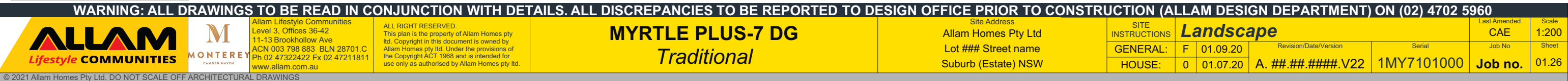


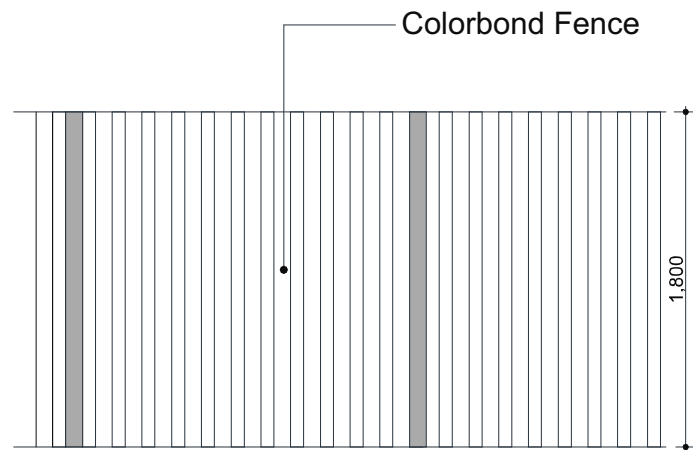
WARNING  
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR

# MASTER

 <p><b>ALLAM</b> Lifestyle COMMUNITIES</p>	 <p><b>MONTEREY</b> CAMDEN HAVEN</p>	<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p><b>MYRTLE PLUS-7 DG</b> <i>Traditional</i></p>	<p>Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW</p>	<p>SITE INSTRUCTIONS</p> <table border="1"> <tr> <td>GENERAL:</td> <td>F</td> <td>01.09.20</td> <td rowspan="2">Revision/Date/Version</td> <td rowspan="2">Serial</td> <td rowspan="2">Job No</td> <td rowspan="2">Sheet</td> </tr> <tr> <td>HOUSE:</td> <td>0</td> <td>01.07.20</td> </tr> </table>	GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet	HOUSE:	0	01.07.20	<p><b>Colour Perspectives</b></p> <table border="1"> <tr> <td>A. ##.##.####.V22</td> <td>1MY7101000</td> <td><b>Job no.</b></td> <td>01.25</td> </tr> </table>		A. ##.##.####.V22	1MY7101000	<b>Job no.</b>	01.25	<p>Last Amended CAE</p>	<p>Scale REFER TO DETAIL</p>
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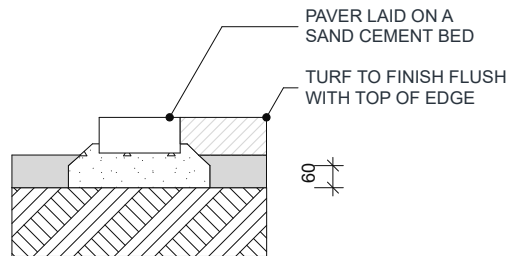






NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

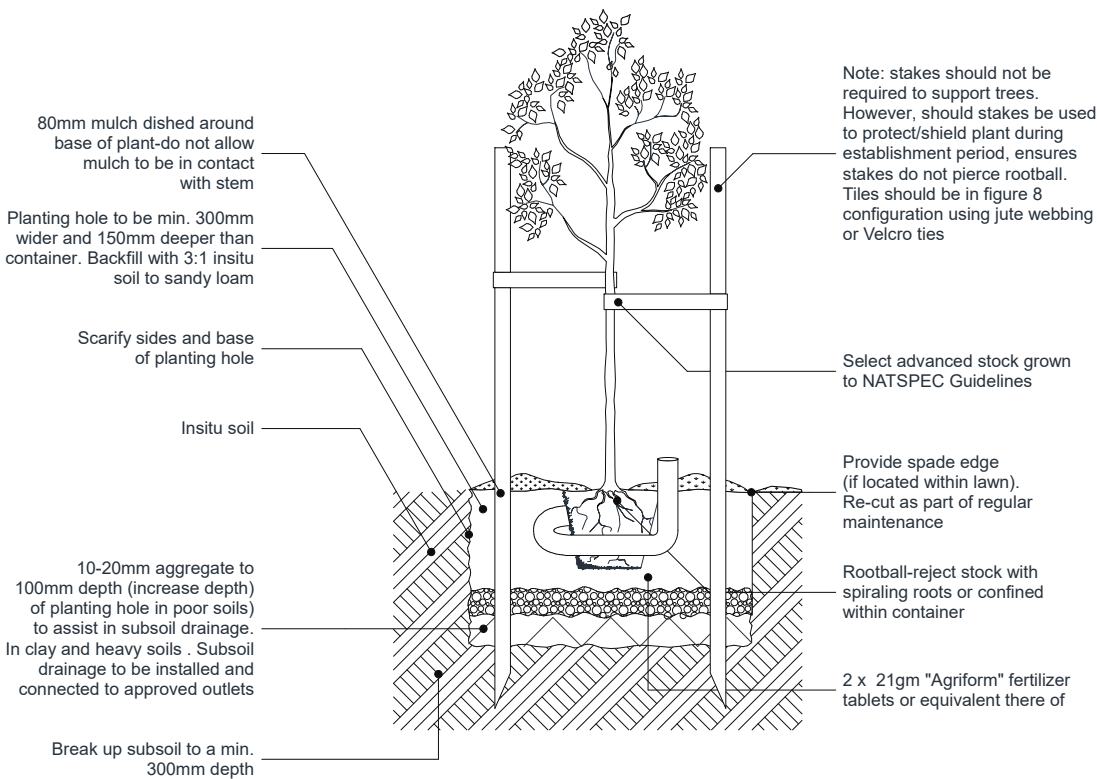
FENCE - TYPE B



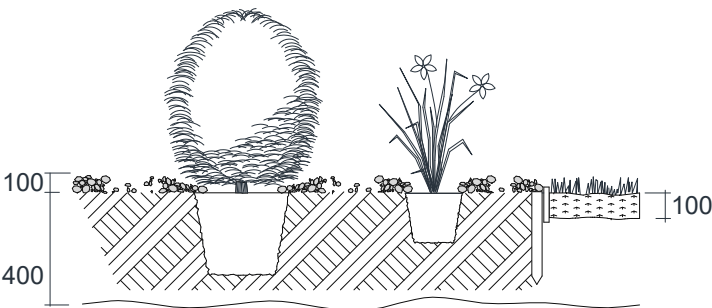
GARDEN EDGE DETAIL  
NTS

LANDSCAPE SPECIFICATIONS

- TURF AREA:
- Turf Underlay: 100mm thick layer of screened top soil
  - Turf: Kikuyu Turf
- GARDEN AREA:
- Soil: 300mm thick layer of premium garden mix.
  - Mulch: 75mm thick layer of 10mm pine bark mulch.
  - Plants per site average:
    - 2 x 25L pot size trees
    - 20 x 300mm pot size plants
    - 20 x 200mm pot size plants
    - 15 x 140mm pot size plants.
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
  - 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.
- Tiles shall be 50mm wide hessian webbing.
- BRICK EDGE:
- 50mm thick charcoal Havenbrick on sand and cement mix.
- PEBBLE AREA:
- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.
  - Pebble : 75mm thick layer of 20mm decorative pebbles.

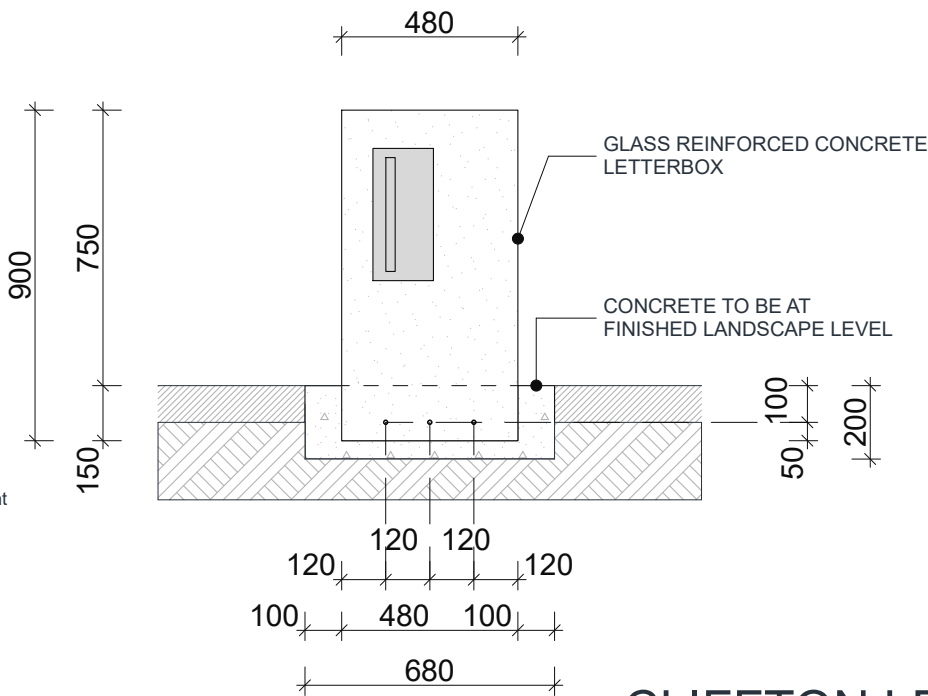


TREE PLANTING FOR ADVANCED STOCK



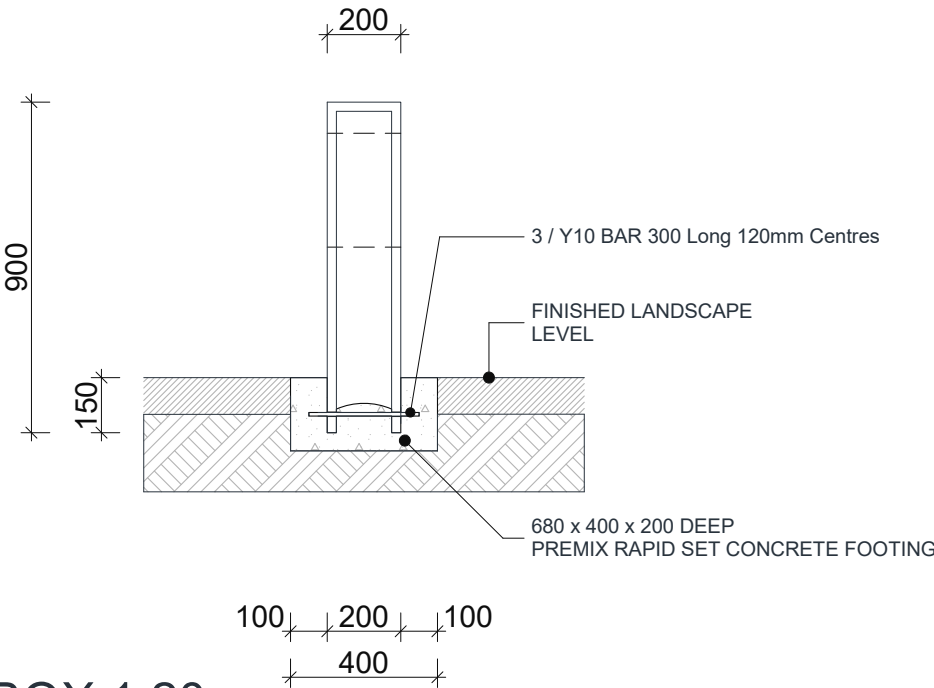
1. Excavate beds to 400mm.
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

PLANTED BEDS

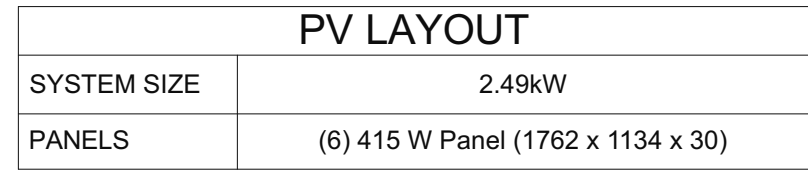


ELEVATION

CLIFFTON LETTERBOX 1:20



SECTION



# MASTER

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