

Lifestyle COMMUNITIES

Rev	Date	Modified By	REVISION TO DRAWINGS
			Pre Approval:
Α	##.##.####	INITIAL	List variation here and in project info.
	27.07.2023	CAE	SQ set opening to MPR in lieu of CSD.
			House Reconfiguration requested
			2). Additional Garage GPO @1300mm above FFL
			3). Reduction in downlights
			4). Induction cooktop
			5). Back to wall cistern
			6). Remove step in wall to Bathroon WC wall
			7). Adjusted door location to Bed 1
			8). Alfresco fan height lowered
			9). Additional Double GPO to Bed 2
			10). Semi frameless shower screen (remove trip hazard)
			11). Reduced width Sq sets to hallway
			12). 1500 Sq Set to MPR

	СС	W/O
WAE	N/A	N/A
SEWER Draft Civil Plans	N/A	N/A
WATER	N/A	N/A
ELECTRICAL	N/A	N/A
NBN	N/A	N/A
CIVIL ENGINEERS	N/A	N/A
GAS	N/A	N/A
LINEN	N/A	N/A
88B	N/A	N/A
BAL	N/A	N/A
ACCOUSTICS	N/A	N/A
	ES DOCUMENTATION TIME OF PRODUCTION	

Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

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Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 472211811
www.allam.com.au

Allam Identificative Communities
Level 3, Offices 36-42
This plan is the property of Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

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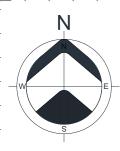
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Garage Floor FFL 0.040 FFL 0.000 FGL 0.240 FGL 0.200 **MYRTLE PLUS-7** -70 SD DG Alfresco FFL 0.070 FGL 0.230 Traditional ______ -40 SD

DRAWING REVISIONS

A. ##.##.## INI - List variations.

NOTE: Also Refer To Index Sheet For Additional Plans.

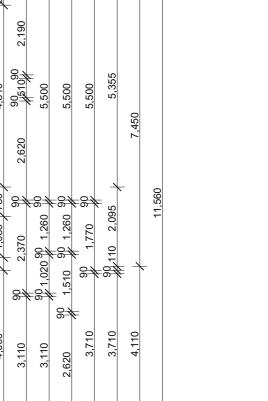
- Waste & Drainage. Fencing & Retaining.
- Slab Setout.Site Analysis.Landscape.

- GENERAL NOTES:

 Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.

 Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
 Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including

IG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS **Site MYRTLE PLUS-7 DG** 1:200 CAE Allam Homes Pty Ltd **Traditional** Ph 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.##.###.V22 1MY7101000 **Job no.** Suburb (Estate) NSW



REV: A. ##.####

MASTER

90,000

340 1,085 780

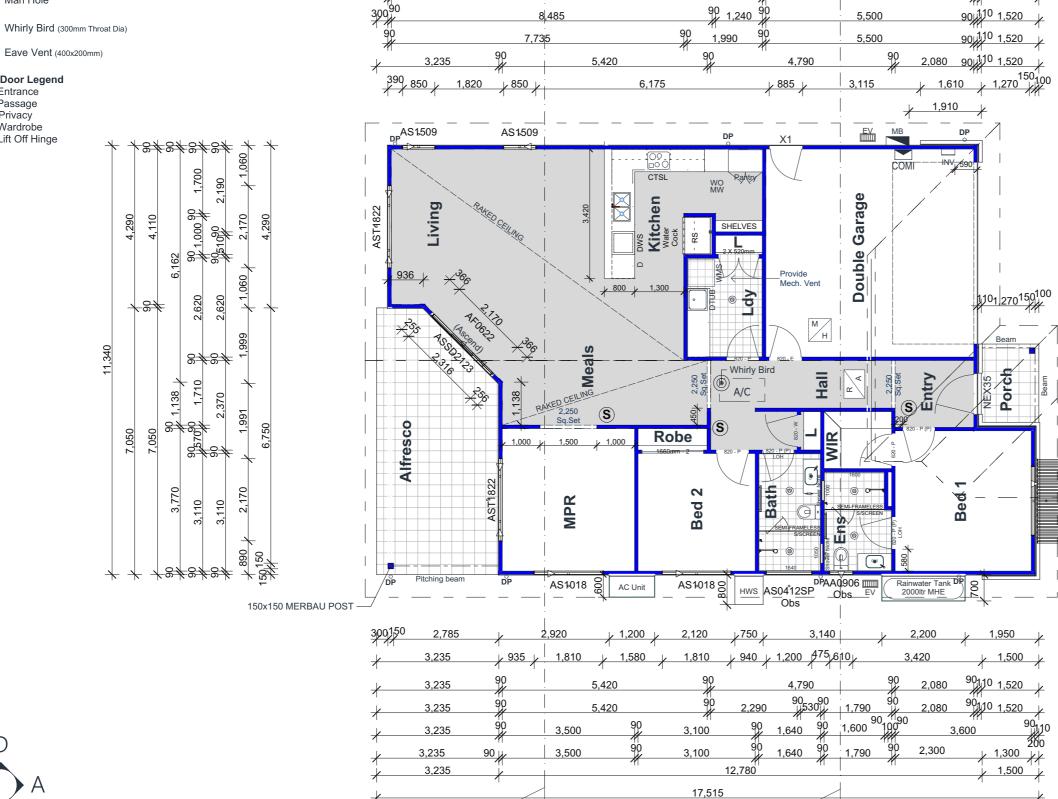
2,370

3,110

3,110

5,500

1,260



hung doors

A/C

* Internal Door Legend

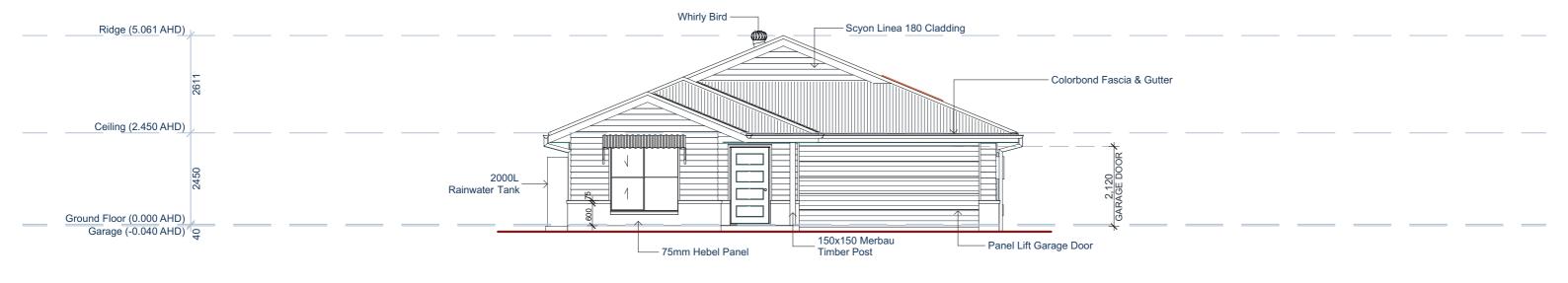
E = Entrance P = Passage

LOH = Lift Off Hinge

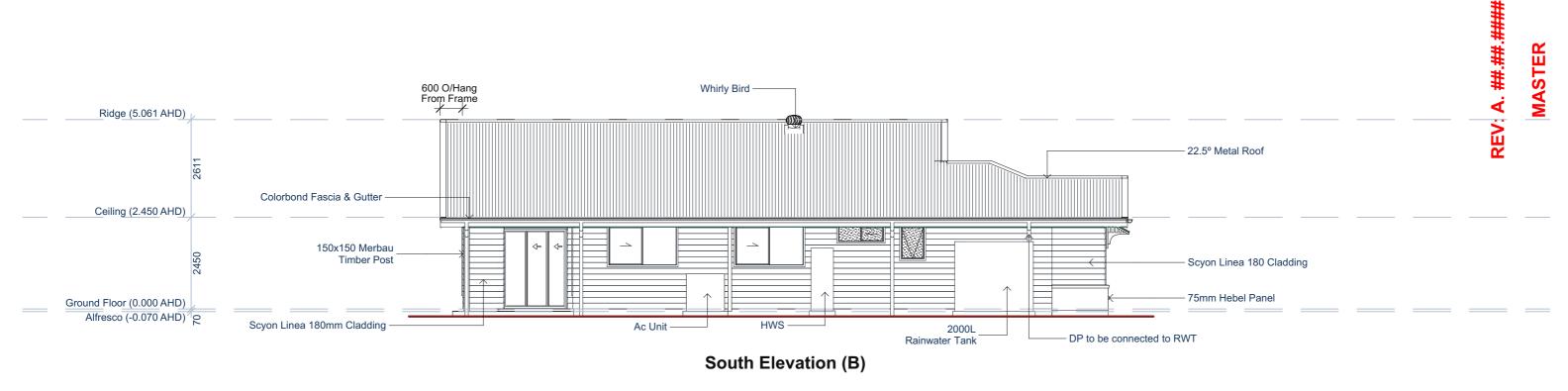
(P) = Privacy W = Wardrobe

FLOOR	AREAS
ALFRESCO	20.81
GARAGE	33.29
GROUND	132.43
PORCH	3.18
	189.71 m ²

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ALLAM	M	Allam Lifestyle Communities Level 3, Offices 36-42	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS	Gro	ound	Floor		Last Amended CAE	1:100
	MONTERE	ACN 003 798 883 BLN 28701.C	Allam Homes pty ltd. Under the provisions of the Copyright ACT 1968 and is intended for	Traditional	Lot ### Street name	GENERAL:	F 0	1.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES	CAMDEN HAVEN	www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Traditional	Suburb (Estate) NSW	HOUSE:	0 0	01.07.20	A. ##.##.###.V22	1MY7101000	Job no.	01.3



East Elevation (A)



General Notes:

* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

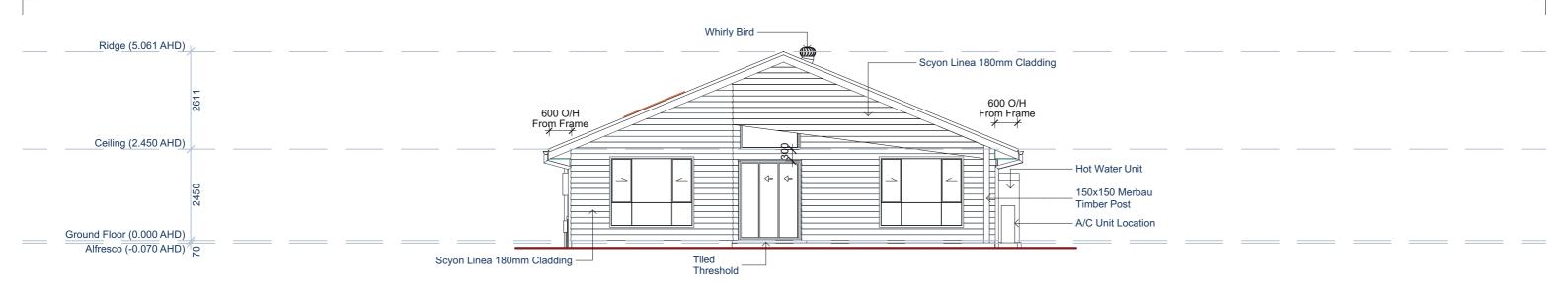
- downpipes where possible.

 * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Refer to floor plans/window schedule for Restricted opening windows (BCA)
- Indicates Obscure Glazing (Refer floor plans/window schedule)

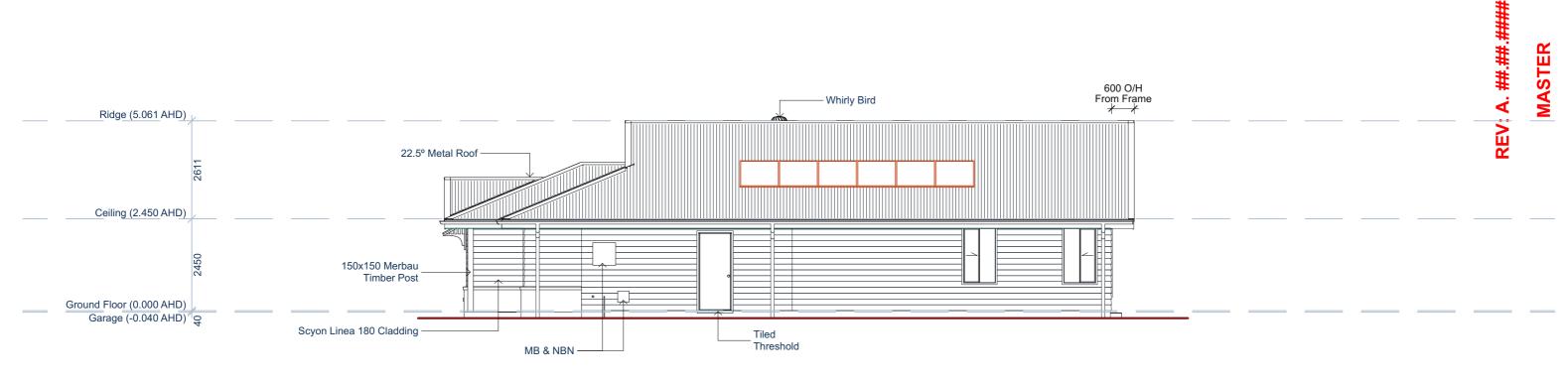
Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Elevation A/B **MYRTLE PLUS-7 DG** 1:100 Allam Homes Pty Ltd ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 Lot ### Street name **Traditional Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.##.##.V22 1MY7101000 **Job no.** Suburb (Estate) NSW



West Elevation (C)



General Notes:

* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

- downpipes where possible.

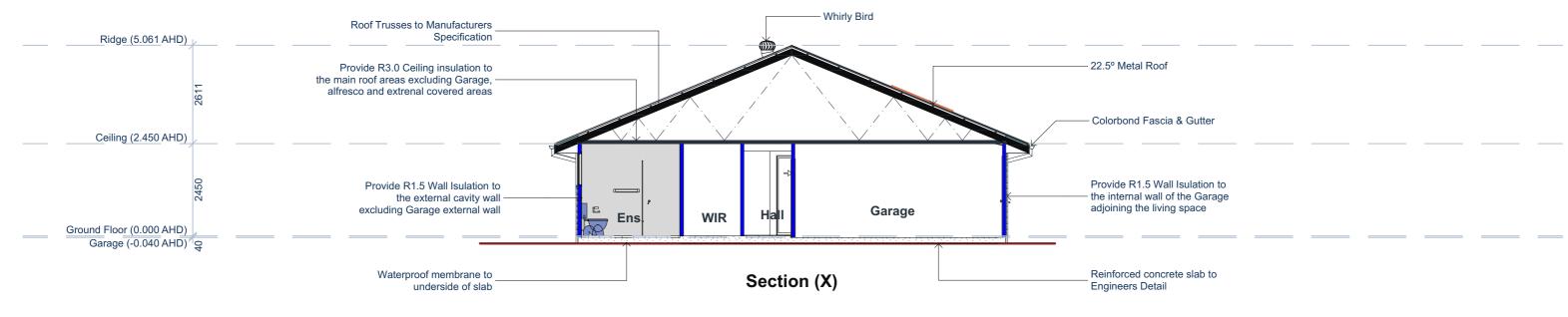
 * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Refer to floor plans/window schedule for Restricted opening windows (BCA)

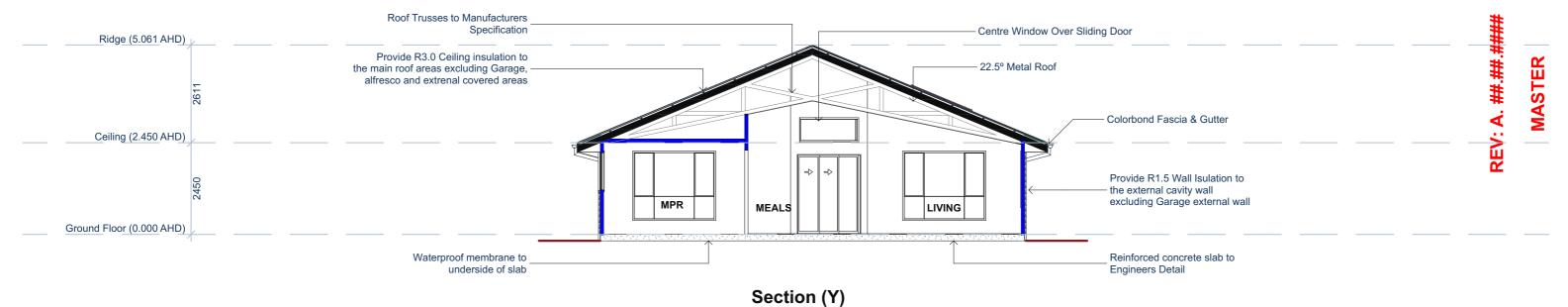
- Indicates Obscure Glazing (Refer floor plans/window schedule)

Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005). North Elevation (D)

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CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1

-Wall wrap to be in accordance with Clause 3.8.7.2 of NCC

2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3 STAIRS, RAMP & LANDINGS:

Internal & External: Bounded by walls:
Compliant with NCC Clause 3.9.1
Internal & External: Finish of nosings/slip resistance:
Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

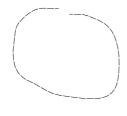
ELECTRICAL:

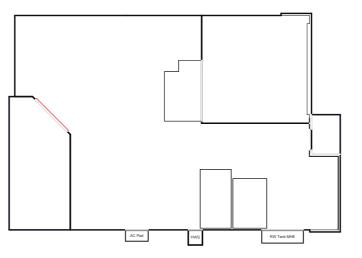
Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE							
Zone Name	Floor Area Total	Natural Lighting Area Requied (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Requied (Min. 5%)	Proposed Natural Ventilation Area		
Bed 1	13.73	1.373	2.880	0.687	1.440		
Bed 2	8.739	0.874	2.160	0.437	1.080		
Meal/Kitchen	27.55	2.755	10.32	1.376	2.064		
Living	12.35	1.235	5.580	0.6173	2.790		
Family	12.35	1.235	5.580	0.6173	2.790		
MPR	12.440	1.934	5.471	0.622	1.521		

WARNING: ALL DR	RAWINGS	S TO BE READ IN C	ONJUNCTION WITH DETA	AILS. ALL DISCREPANCIES TO BE REPORTED TO DI	ESIGN OFFICE PRIOR TO CONSTR	UCTION (A	LLAM DESI	GN DEPARTMENT)	ON (02) 4702 5	960	
ALLAM	M	Allam Lifestyle Communities Level 3, Offices 36-42	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS	Section	X/Y		Last Amended CAE	1:100
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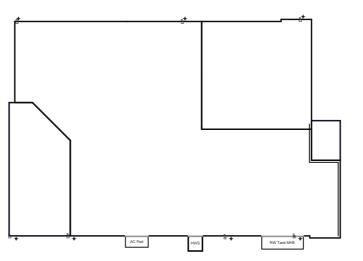




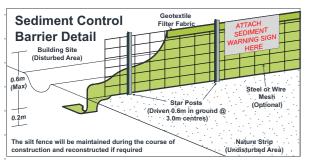
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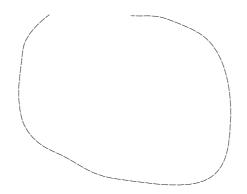
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Allar	am Lifestyle Communities	ALL RIGHT RESERVED.		Site Address	SITE	14/4-	D		Last Amended	Scale
ALLAM M 11-1	rel 3, Offices 36-42	This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	vvaste d	& Drainage		CAE	1:200
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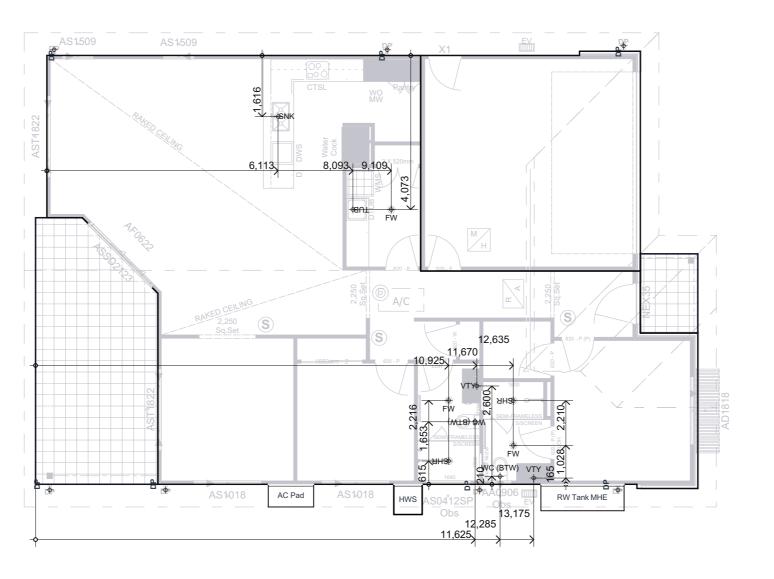
Termite shields

Shields, suriers or the like must be provided in accordance with AS 3660.1–2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

WARNING: ALL DRAWINGS TO BE READ IN (CONJUNCTION WITH DETAILS. A	ALL DISCREPANCIES TO BE REPORTED TO	DESIGN OFFICE PRIOR TO CONSTRU	JCTION (A	LLAM DESIG	SN DEPARTMENT)	ON (02) 4702 5	960	
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Level 3, Offices 36-42	This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Allam Homes Ptv I td	INSTRUCTIONS	Slab Set	out Ground		CAE	1:100
Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701 C	Itd. Copyright in this document is owned by	WITKIEL I LOO-1 DO	7			Bevision/Date/Varsian	Coriol	Joh No	Shoot
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www.allam.com.au	use only as authorised by Allam Homes pty Itd.	77667167	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.###.VZZ	11017 101000	Job no.	01.11





NOTE: GROUND FLOOR RUNNING DIMENSIONS FROM INSIDE OF EDGE BOARD TO Q OF PENETRATION

NOTE: FIRST FLOOR
RUNNING DIMENSIONS FROM EXTERNAL
TIMBER FRAME/BRICKWORK TO Q OF
PENETRATION

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Downlight LED

2W Denotes two way control

Internal Wall @ 1900

External Wall @ 1900

Light/Heat/Fan (Ducted To External)

Light Switch

■ LED Light

D Data Point @ 300 (above FL)

Electric Hot Water System

T.V. Point @ 300 (above FL)



Smoke Alarm Air-conditioner Fan Unit



Meter Box



Alarm Key Panel



Alarm Control Box



Single GPO



Double GPO Single Ext GPO



Double Ext GPO



Ceiling Fan



Ceiling Fan (Incorporated Light)

Actron Air Standard Unit Specification (Single Phase)

Model: CRS13AS / EVA13AS Net (rated) Capacity (KW) Cooling: 13.02 KW

Heating: 15.0 KW

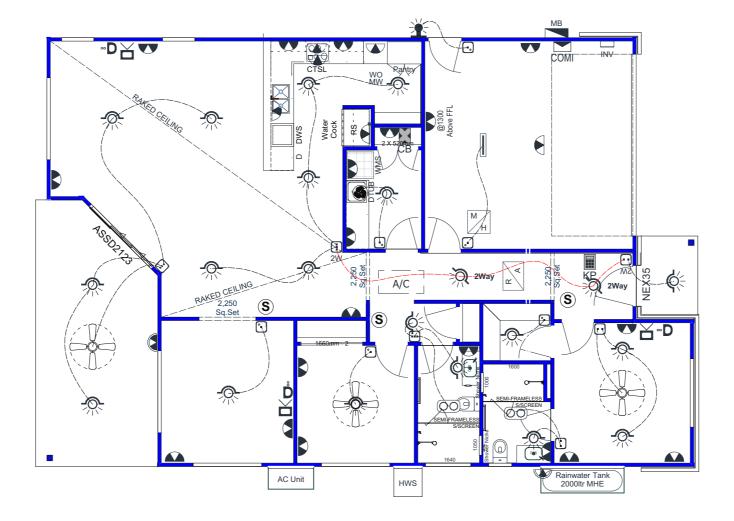
EER Rated Cooling: 3.35 KW EER Rated Heating: 3.51 KW

General Notes: NCC Approval

- 1. All heights measured from the main floor level unless otherwise noted.
- 2. Light switches @ 1300mm above FFL wall mounted.
- 3. Top of Meter box to be 1900mm maximum above ground level.
- 4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 9.5.
- 5. Double GPO to meter box.

Electrical wiring

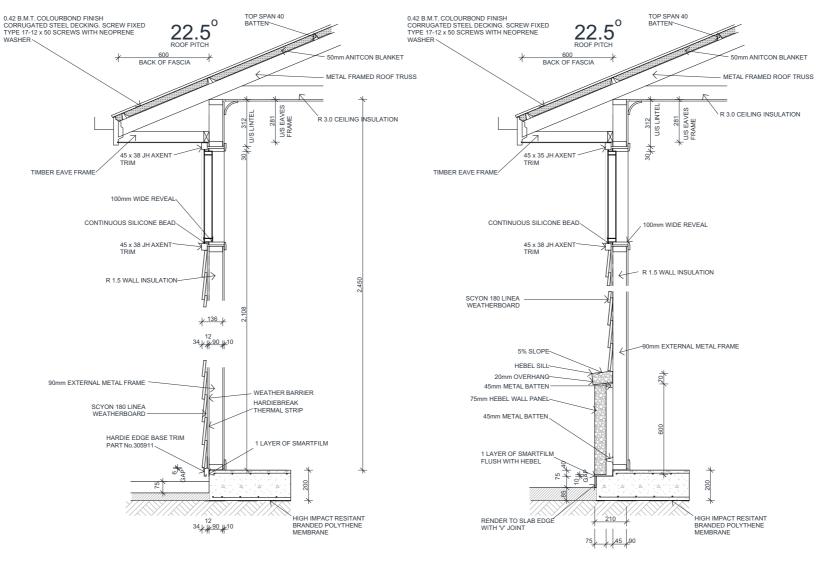
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.



GP	O Height Tabl	е
Room Location	Item	Height (mm
Kitchen	GPO	1100
	REF	2050
	RH	1900
	DW	500
	MW	600/1200
Laundry	GPO	1300
Bath/Ens/Pow	GPO	1300
Garage	GPO	1200
	Roller Door	2000
	Panel Door	Ceiling
Other	External GPO	1000
Note :		

All general room GPO's are to measure 300mm above main floor level unless

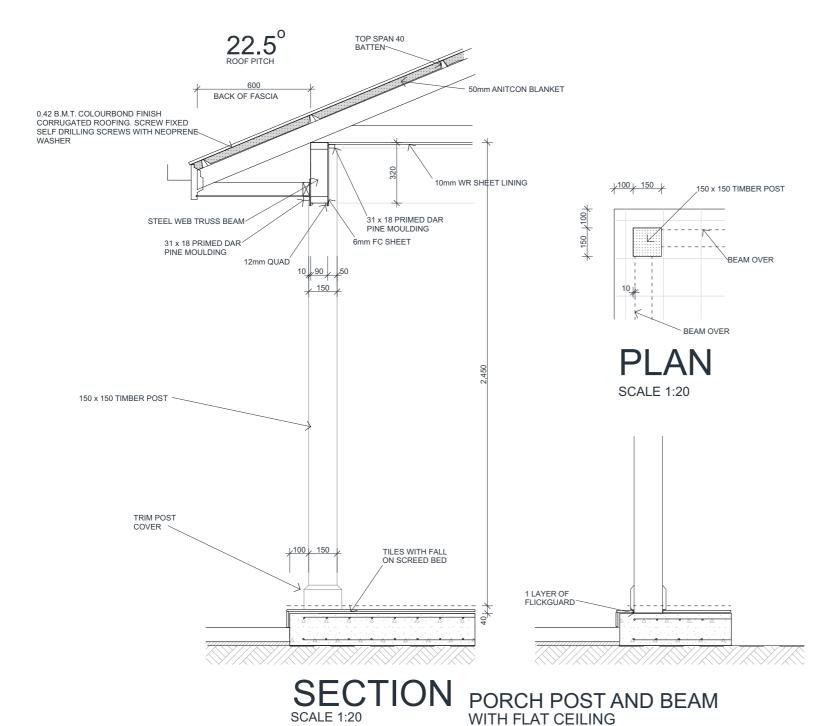




PERIMETER BEAM - HOUSE

TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

PERIMETER BEAM - HOUSE
TYPE C - COMPOSITE HEBEL (75mm) & SCYLON
LINEA 180 (16mm) WALL



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Site Address

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Traditional

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Site Address

Allam Homes Pty Ltd

Lot ### Street name

Suburb (Estate) NSW

MYRTLE PLUS-7 DG

Last Amended CAE

STIE

INSTRUCTIONS

Associated Details

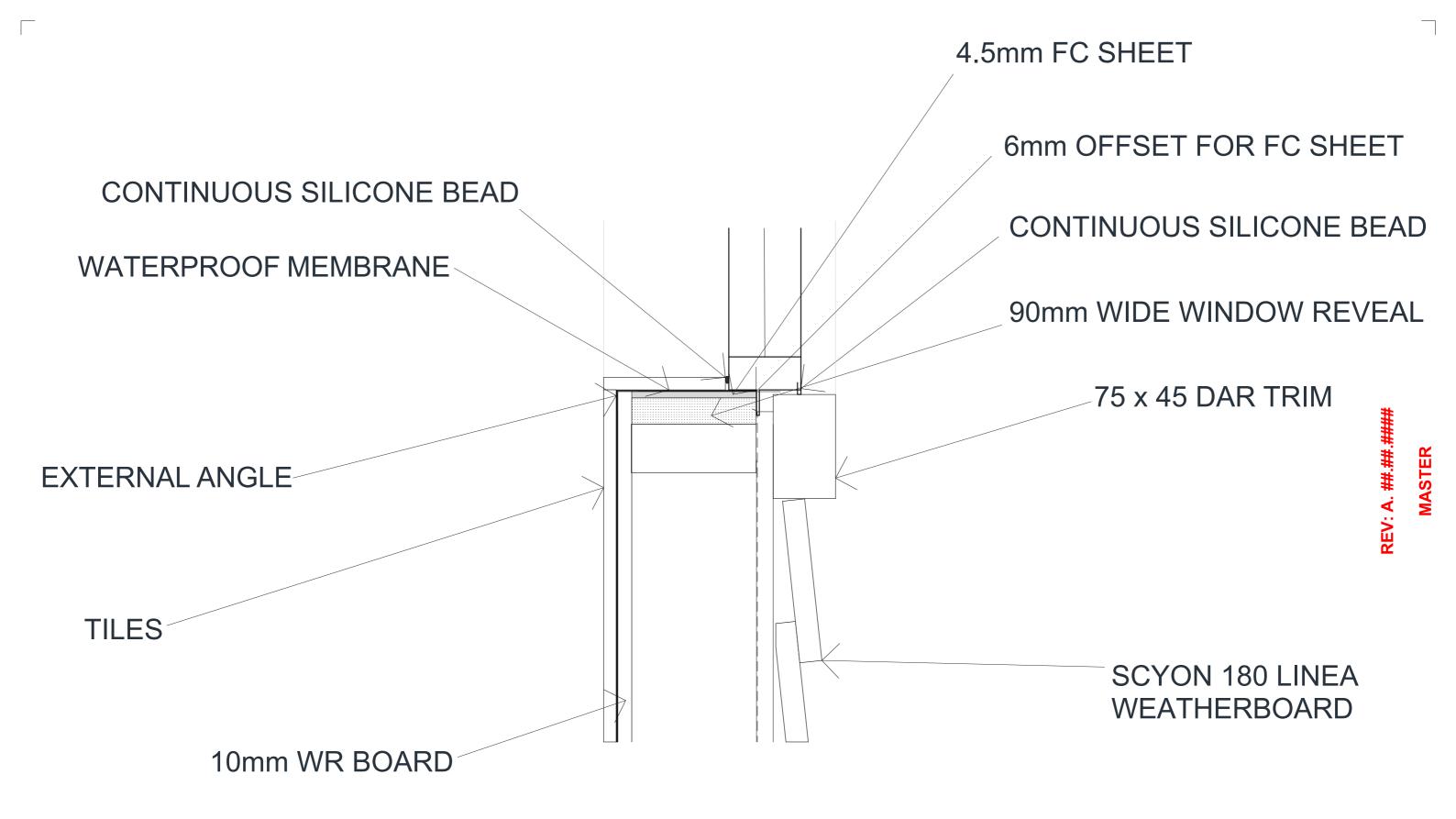
GENERAL: F 01.09.20 Revision/Date/Version

Serial

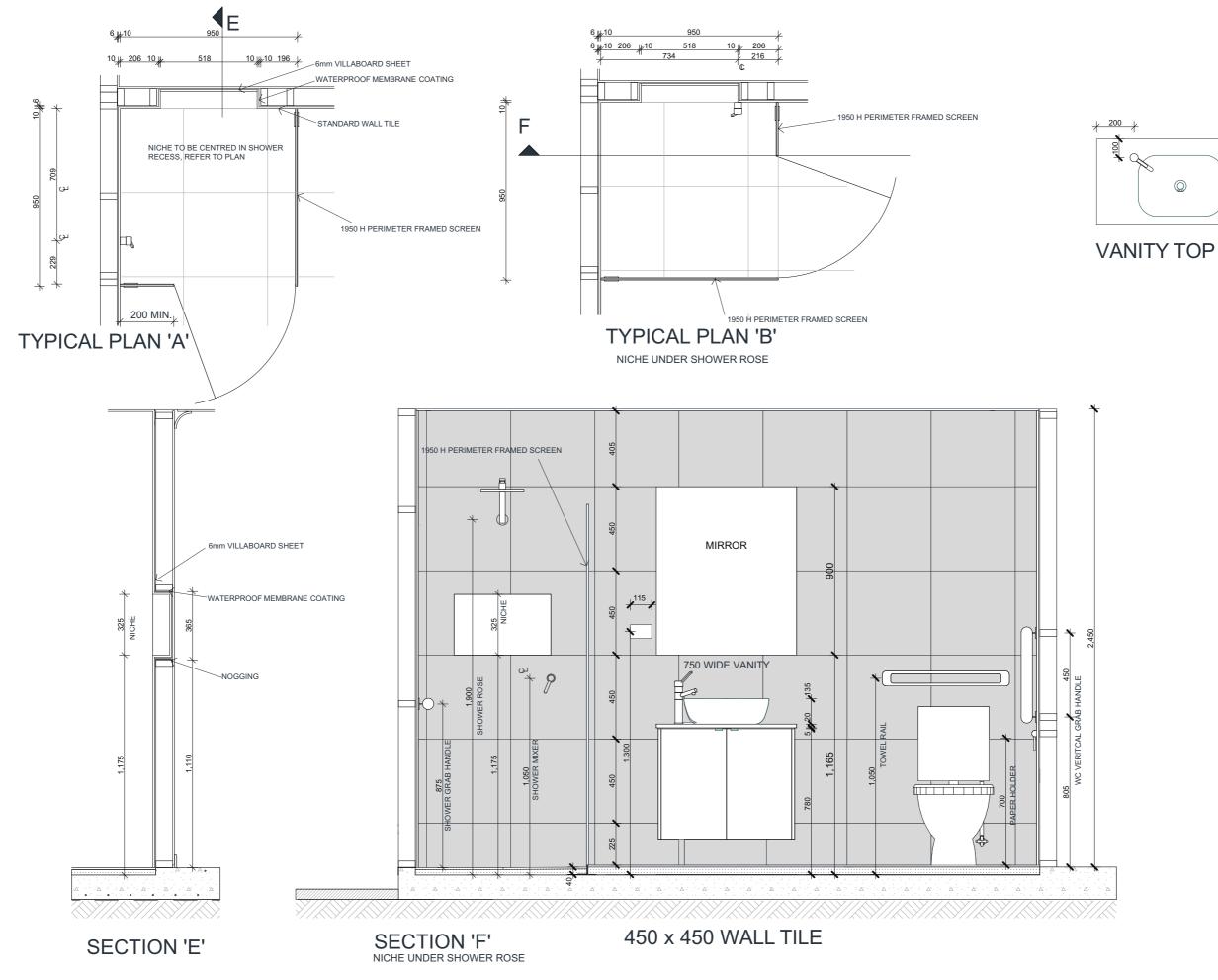
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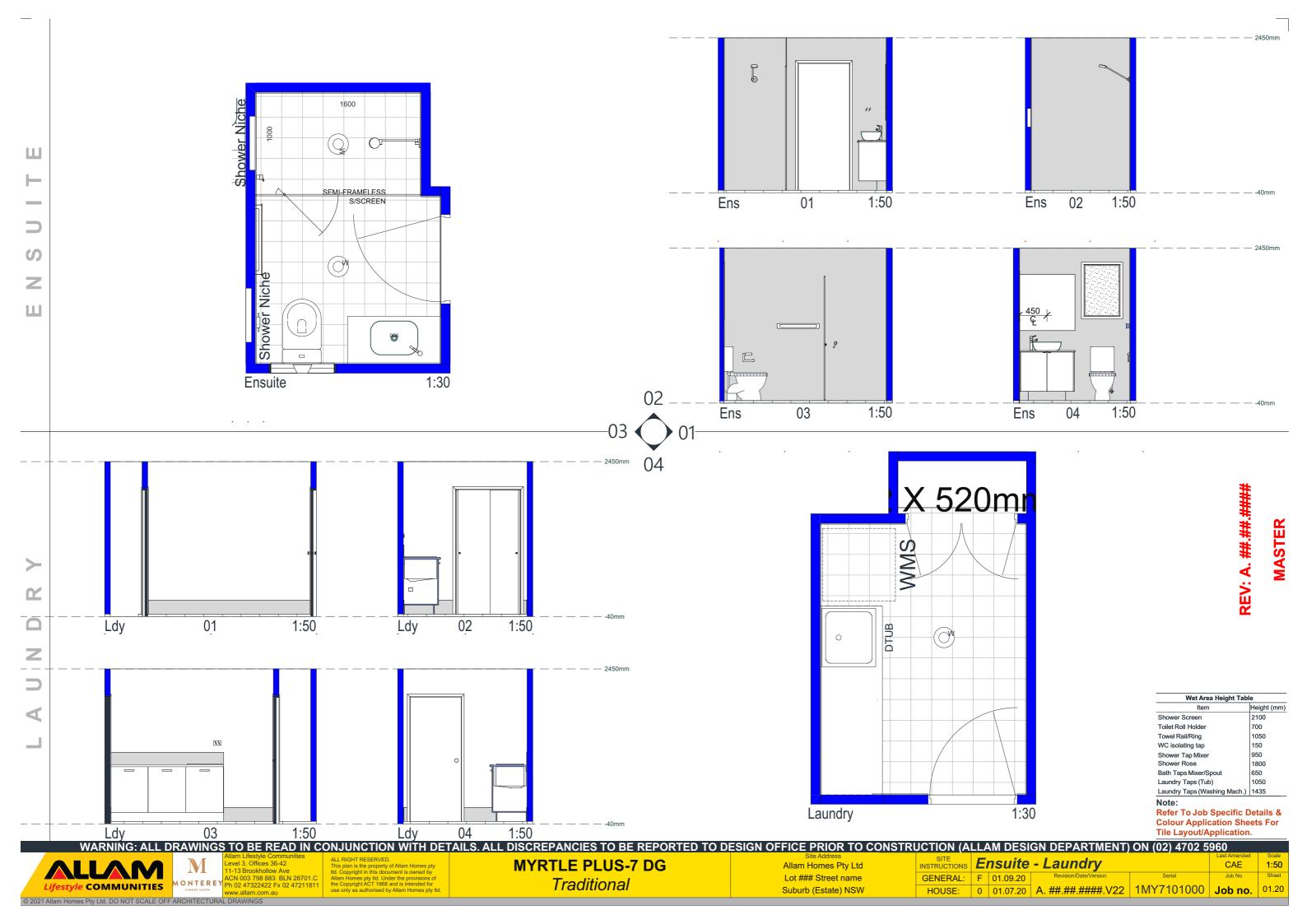
NY7101000 Job no. 01.17

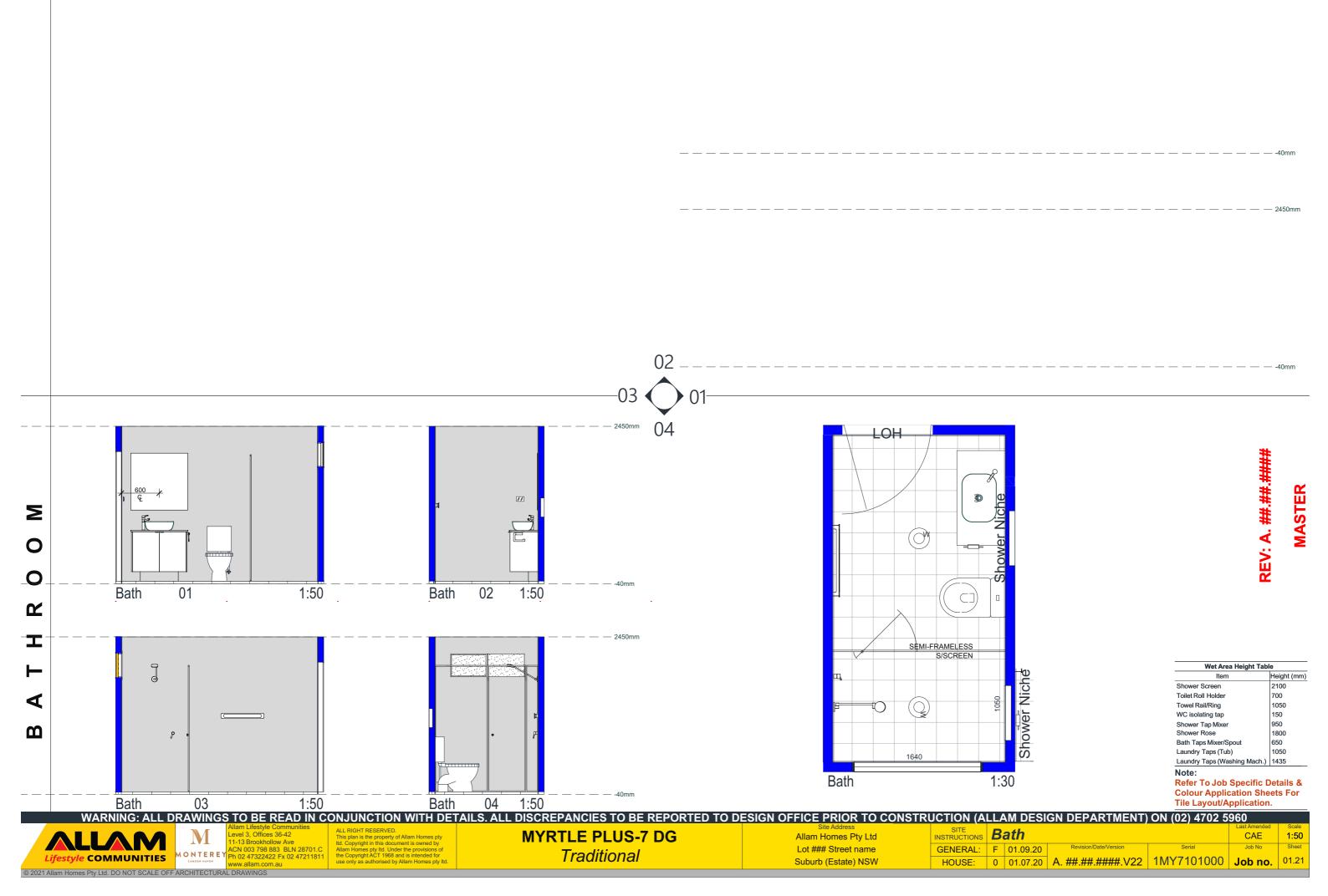


TYPE B - FULL SCYON LINEA 180 (16mm) WALL

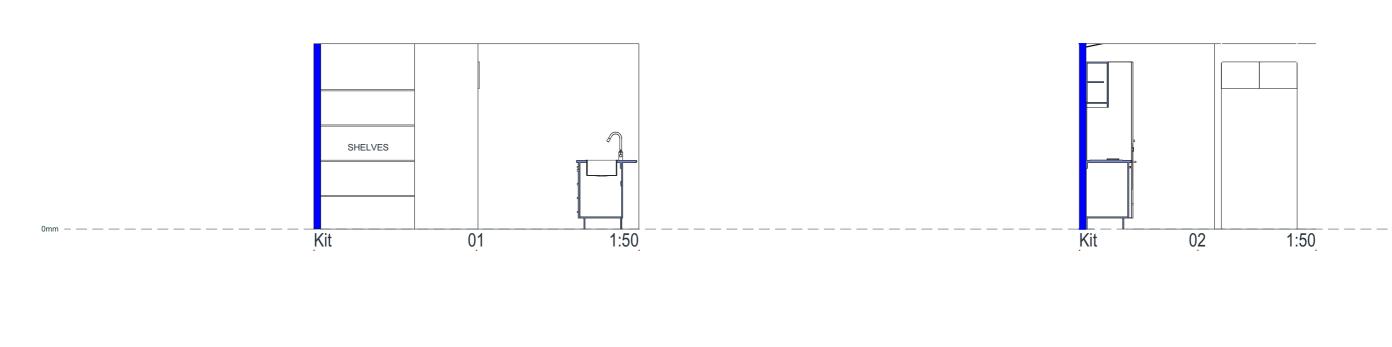


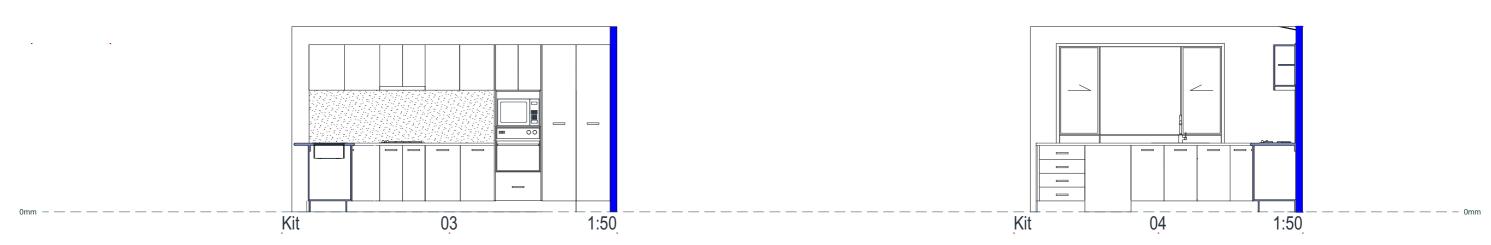
SITE INSTRUCTIONS TILE Specification
GENERAL: F 01.09.20 Revision/Date/Versi **MYRTLE PLUS-7 DG** Allam Homes Pty Ltd **Traditional** HOUSE: 0 01.07.20 A. ##.##.###.V22 1MY7101000 Job no. 01.19 Suburb (Estate) NSW

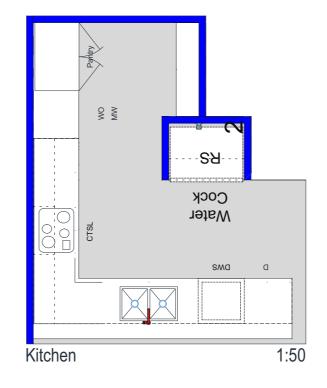


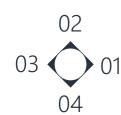






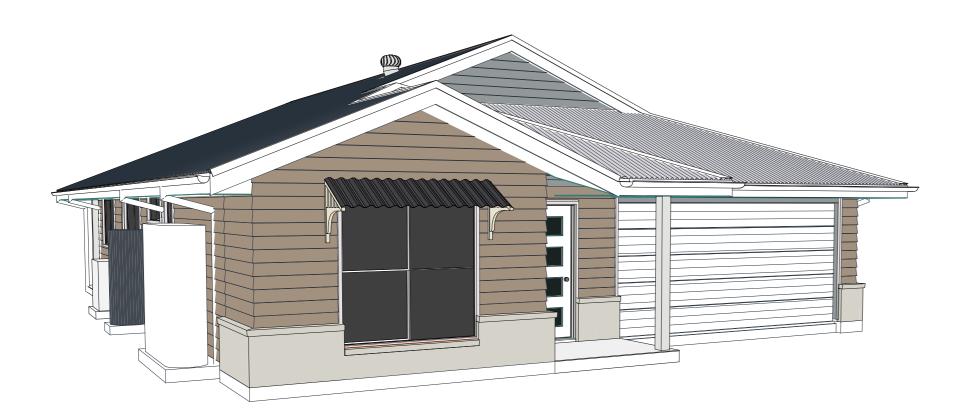






Note: Refer to kitchen manufacturers details.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNC	CTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO D	ESIGN OFFICE PRIOR TO CONSTRU	JCTION (ALL	AM DESI	GN DEPARTMENT)	ON (02) 4702 5	960	
Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BI N 28701 C	MYRTLE PLUS-7 DG MYRTLE PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS K	itchen			Last Amended CAE	1:50
ACN 003 798 883 BLN 28701. C Iffestyle COMMUNITIES MONTEREY Ph 02 47322422 Fx 02 47211811 the Copyright AC	n mis document is owned by the provisions of ACT 1968 and is intended for Traditional	Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet 64 33
CAMDEN MAYEN www.allam.com.au use only as auth	thorised by Allam Homes pty ltd.	Suburb (Estate) NSW	HOUSE: 0	01.07.20	A. ##.##.##.V22	1MY / 101000	Job no.	91:22

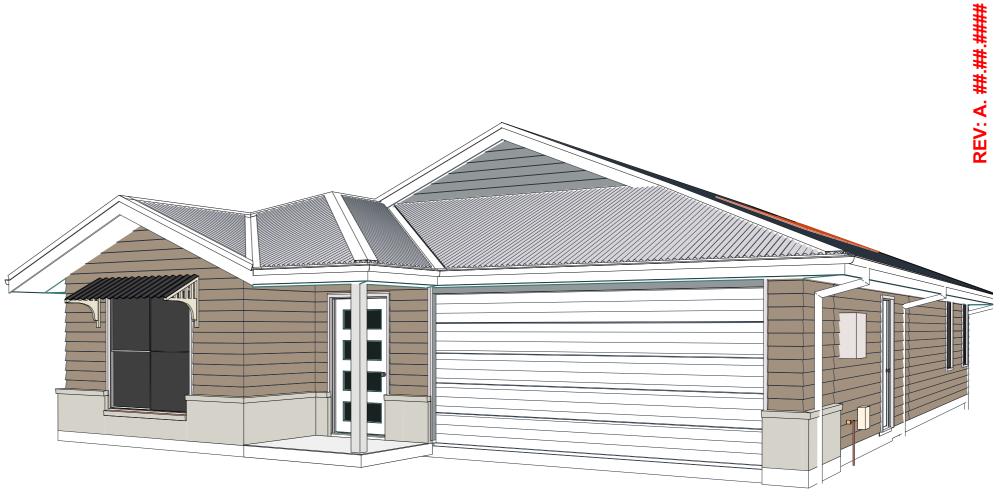


Finishes Legend

External Scheme - A## Cladding:

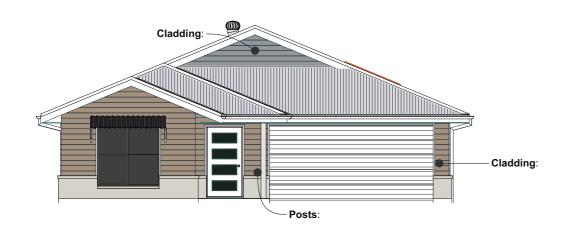
Hebel:

Posts:



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Allam Lifestyle Communities Level 3, Offices 38-42 Level 3, Offices 38-42 Level 3, Offices 38-42 This plan is the property of Allam Homes Pty Ltd MYRTLE PLUS-7 DG MYRTLE PLUS-7 DG Site Address Allam Homes Pty Ltd Site Address Allam Homes Pty Ltd Colour Application	st Amended RE	Scale
11.13 Brookhollow Ave	CAE	DETAIL
Level 3, Offices 36-42 This plan is the property of Allam Homes Pty Ltd Lifestyle COMMUNITIES Level 3, Offices 36-42 This plan is the property of Allam Homes pty Ltd. Copyright in this document is owned by ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 This plan is the property of Allam Homes Pty Ltd Ltd ### Street name GENERAL: F 01.09.20 Revision/Date/Version Serial Traditional Traditional	Job No	Sheet
Lifestyle COMMUNITIES WWW.allam.com.au Suburb (Estate) NSW HOUSE: 0 01.07.20 A. ##.##.##.V22 1MY7101000 J.	ob no. 0	01.23





Finishes Legend

External Scheme - A##

Cladding:

Hebel:

Posts:





WARNING

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Allam Lifestyle Communities
Level 3, Offices 36-42
Lifestyle COMMUNITIES

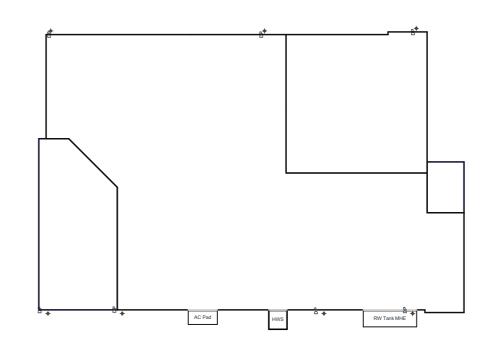
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Allam Lifestyle Communities
Level 3, Offices 36-42
Lifestyle COMMUNITIES

Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

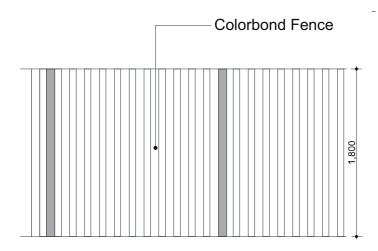
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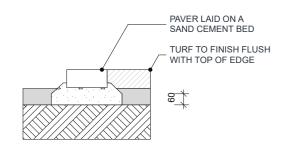


WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 **MYRTLE PLUS-7 DG** Allam Homes Pty Ltd 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au Lot ### Street name Traditional Suburb (Estate) NSW



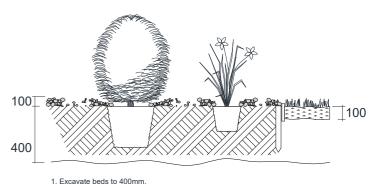
NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

FENCE - TYPE B



Note: stakes should not be required to support trees. However, should stakes be used 80mm mulch dished around to protect/shield plant during base of plant-do not allow establishment period, ensures mulch to be in contact stakes do not pierce rootball. with stem Tiles should be in figure 8 configuration using jute webbing Planting hole to be min. 300mm wider and 150mm deeper than or Velcro ties container. Backfill with 3:1 insitu soil to sandy loam Scarify sides and base of planting hole Select advanced stock grown to NATSPEC Guidelines Insitu soil Provide spade edge (if located within lawn). Re-cut as part of regular 10-20mm aggregate to 100mm depth (increase depth) spiraling roots or confined of planting hole in poor soils) within container to assist in subsoil drainage. In clay and heavy soils . Subsoil drainage to be installed and 2 x 21gm "Agriform" fertilizer connected to approved outlets Break up subsoil to a min.

TREE PLANTING FOR ADVANCED STOCK



 Excavate beds to 400mm.
 Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

PLANTED BEDS

GARDEN EDGE DETAIL

LANDSCAPE SPECIFICATIONS

TURF AREA

- Turf Underlay: 100mm thick layer of screened top soil

Kikuyu Turf

GARDEN AREA:

300mm thick layer of premium garden mix

75mm thick layer of 10mm pine bark mulch.

- Plants per site average:

2 x 25L pot size trees 20 x 300mm pot size plants

20 x 200mm pot size plants

15 x 140mm pot size plants.

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.

45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.

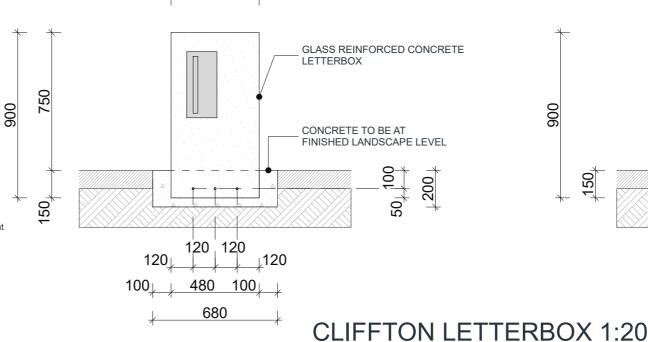
Tiles shall be 50mm wide hessian webbing.

BRICK EDGE

- 50mm thick charcoal Havenbrick on sand and cement mix.

PEBBLE AREA:

100mm - 200mm thick layer of consolidated road base.



ELEVATION

480

₁200₁ 3 / Y10 BAR 300 Long 120mm Centres FINISHED LANDSCAPE LEVEL 680 x 400 x 200 DEEP PREMIX RAPID SET CONCRETE FOOTING 100 200 100

SECTION

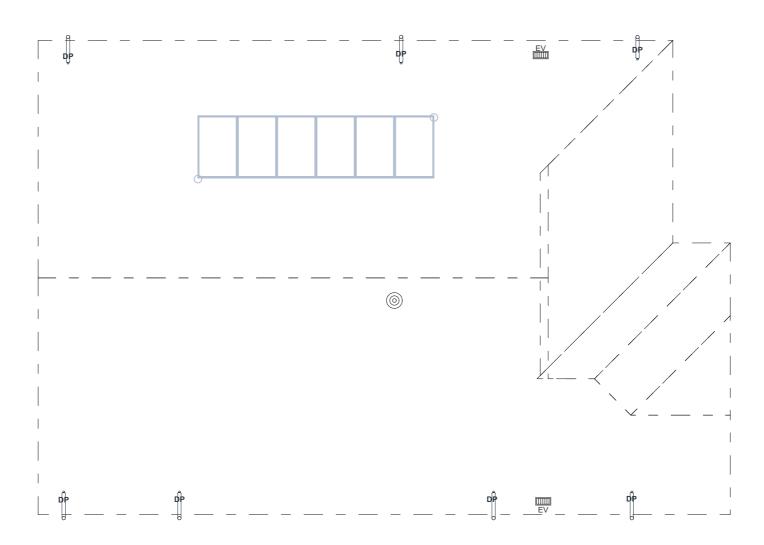
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DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 INSTRUCTIONS Landscape Details **MYRTLE PLUS-7 DG** Allam Homes Pty Ltd **Traditional** h 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.####.V22 1MY7101000 **Job no.**

Suburb (Estate) NSW

REV: A. ##.##.####

PV LAYOUT	
SYSTEM SIZE	2.49kW
PANELS	(6) 415 W Panel (1762 x 1134 x 30)



Allam Lifestyle Communities
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
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MYRTLE PLUS-7 DG

Traditional

Site Address
Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

SITE INSTRUCTIONS

Solar Panel Layout

GENERAL: F 01.09.20 Revision/Date/Version Serial Job No Sheet

HOUSE: 0 01.07.20 A. ##.####.V22 1MY7101000 Job no. 01.28